

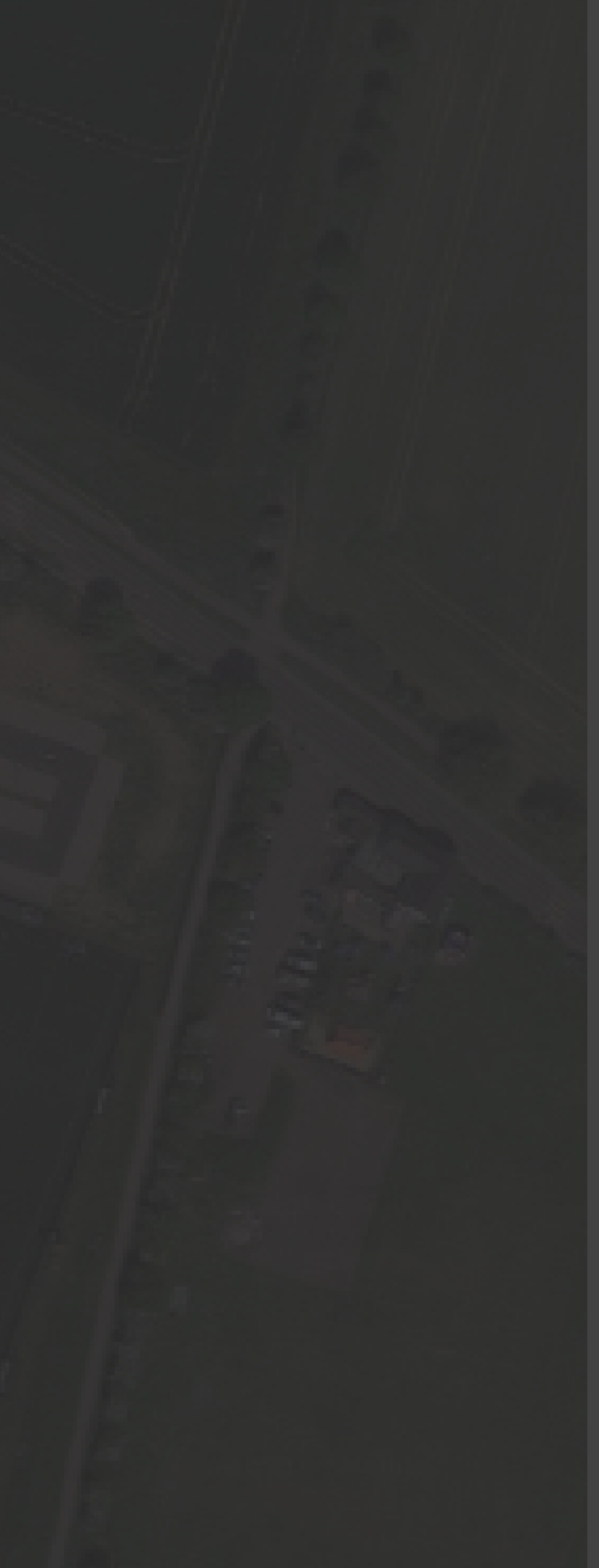


DT ARCHITECTS

DESIGN & ACCESS STATEMENT

THE WRIGHT BUY HOLDINGS LTD
PROPOSED NEW WAREHOUSES AND INDUSTRIAL DEVELOPMENT
UNIT 2, PIPERELL WAY, HAVERHILL, SUFFOLK





ISSUE HISTORY

P01	Planning Issue	12.10.2023
Issue	Note	Date

1.0	SITE ASSESSMENT	08
1.01	INTRODUCTION	08
1.02	STATEMENT OF REQUIREMENT	09
1.03	SITE LOCATION	10
1.04	SITE PHOTOGRAPHS	11
1.05	PLANNING HISTORY	12
1.06	PRE-APPLICATION ENQUIRY	12
1.07	PREVIOUS PLANNING PERMISSION	12
2.0	DESIGN PROPOSAL	15
2.01	DESIGN BRIEF	16
2.02	DESIGN CONCEPT	16
2.03	USE	16
2.04	SCALE	17
2.05	LAYOUT	17
2.06	ACCESS	17
2.07	APPEARANCE	17
2.08	LANDSCAPING	18
2.09	VISUALISATIONS	19
3.0	CONSULTANT REPORTS	23
3.01	DRAINAGE STATEMENT	24
3.02	STRUCTURAL DESIGN	24
3.03	ARBORICULTURAL DESIGN	24
3.04	ACOUSTIC ASSESSMENT	24
3.05	TRANSPORT ASSESSMENT	24
4.0	SUMMARY	27
4.01	SUMMARY	29

1.0

SITE ASSESSMENT

- 1.01 INTRODUCTION
- 1.02 STATEMENT OF REQUIREMENT
- 1.03 SITE LOCATION
- 1.04 KEY SITE FEATURES
- 1.05 SITE PHOTOGRAPHS
- 1.06 PLANNING HISTORY

1.01

INTRODUCTION

This Design & Access Statement has been prepared to accompany the Full Planning Application submitted to West Suffolk District Council for the proposed construction of 5 B2 and B8, and 2 B8 only Industrial Units at 2 Piperell Way, Haverhill.

The application follows an in-depth feasibility study and Pre-Application Enquiry which considered the applicants accommodation requirements and design aspirations as well as the wider site context and site restraints.

The following pages seek to offer an understanding of the site and the proposed building's architectural character.

Moreover, this report considers the sites' planning history and wider site context in order to demonstrate the design process undertaken and mitigate any negative impacts on the surrounding area.

1.02

STATEMENT OF REQUIREMENT

The site is currently owned and occupied by the The Wright Buy Ltd who run an internet sales company. As the company has grown and increased its marketshare it has naturally had to expand its premises and ability to store products on site. The two existing warehouses are currently at capacity and as a result a number of temporary storage containers have now been placed on site to accommodate the additional storage requirement. Considering the site area and locality, it is ideally placed to accommodate an expansion of the existing facilities.

Furthermore, the existing B1 units at the North are no longer viable and have become quite dilapidated. As a result, an opportunity has presented itself for the redevelopment of this area of the site and the opportunity to create some much need additional industrial employment space within the district. The following proposal provides details of the development proposal and the benefits it offers to both the existing occupants and the wider context and community.

SITE ASSESSMENT

1.03

SITE LOCATION

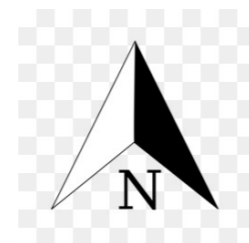
Units 2 & 4 Piperell Way are located within Haverhill Industrial Estate to the South of the Town of Haverhill in Suffolk. Directly adjacent to the west runs Moon Hall Lane and to the south runs Helions Bumpstead Road.

The site itself consists of a mixture of Building Uses and is currently occupied by 'The Wright Buy' who are an online retailer of Household appliances.

The southern end of the site is largely in use as B8 Storage & Distribution with small areas of B1 Office space to accommodate administration staff attached. Towards the center of the site lies a two storey block of occupied offices and further towards the northern boundary is a disused single storey office block which is in a state for disrepair.

The site currently benefits from two separate vehicular access points. One leads to an area of concrete hard-standing which was previously used for parking and the other down to the main HGV Loading bays at the bottom of the site.

Total Site area is approximately 5.5 Acres (2.2ha).



1.04 Site Photos



Fig 02 - Site Entrance to Unit 2 Piperell Way



Fig 3- View of Existing Warehouses/Loading docks



Fig 4- View of Existing Occupied offices



Fig 5 - View of Existing Warehouses



Fig 6 - View of Unit 4 North Elevation



Fig 7 - View of disused office building

1.05

PLANNING HISTORY

DC/15/2598/FUL - Change of use of vacant unit from B2 general industrial to uses falling within B1(c), B2 and B8.

The site was previously designated as B2 but had been left vacant for sometime. The current occupier was granted permission to expand the usage to allow for additional office and storage areas allowing them to expand their business and increased employment opportunities.

1.06

PRE-APPLICATION ENQUIRY

A Pre-Application Enquiry as submitted to West Suffolk District Council on 11th March 2020 with a request for a Meeting on Site/Phone Conversation with an officer to discuss the proposed scheme. No site meeting took place but a phone conversation took place on 4th May 2020 during which all elements of the proposal were discussed along with any key issues that may need resolving prior to a formal Planning Application. A follow up report summarising the conversation was received on 12th June 2020 and the key points have been noted below.

- *The plans provided demonstrate that the proposal creates more useable and better-quality employment space. The proposal gains support from policy DM30, CS9 and the NPPF which seek to encourage economic growth and support local businesses.*
- *Given the fact that the site is situated right in the middle of an industrial estate surrounded by commercial buildings with no residential properties it is not considered that there would be any adverse impact on any residential amenity currently enjoyed either by noise or vehicular movements.*
- *We discussed the potential for increasing height and given the location this is something which could be considered acceptable. Any plans which do come forward will need to comply with design policies within the development plan as well as the NPPF which stresses the importance of good design. It is noted that areas of landscaping are proposed which should improve the appearance of the site.*
- *Given the location of the site within an employment area, the fact that the scheme would offer opportunities for both small and larger businesses to obtain premises and the support offered in both local and national policy to proposals which boost the local economy the principle of development is considered acceptable. It is considered likely that suitably designed elevations and landscaping can be achieved for the scheme and as such, subject to the Highway Authority being satisfied with parking provision and access requirements it seems likely that this scheme can receive officer support.*

1.07

PREVIOUS PLANNING PERMISSION GRANTED

Application number : DC/20/2003/FUL.

Date registered : 2nd December 2020

Date of decision : 10th November 2021

Proposal granted for : a. five B2/B8 general industrial/Storage and distribution units following demolition of existing offices and structures b. improvements to existing vehicular accesses.

The scheme has since been updated therefore a new application will be submitted to the West Suffolk Council, regarding these changes.

2.0

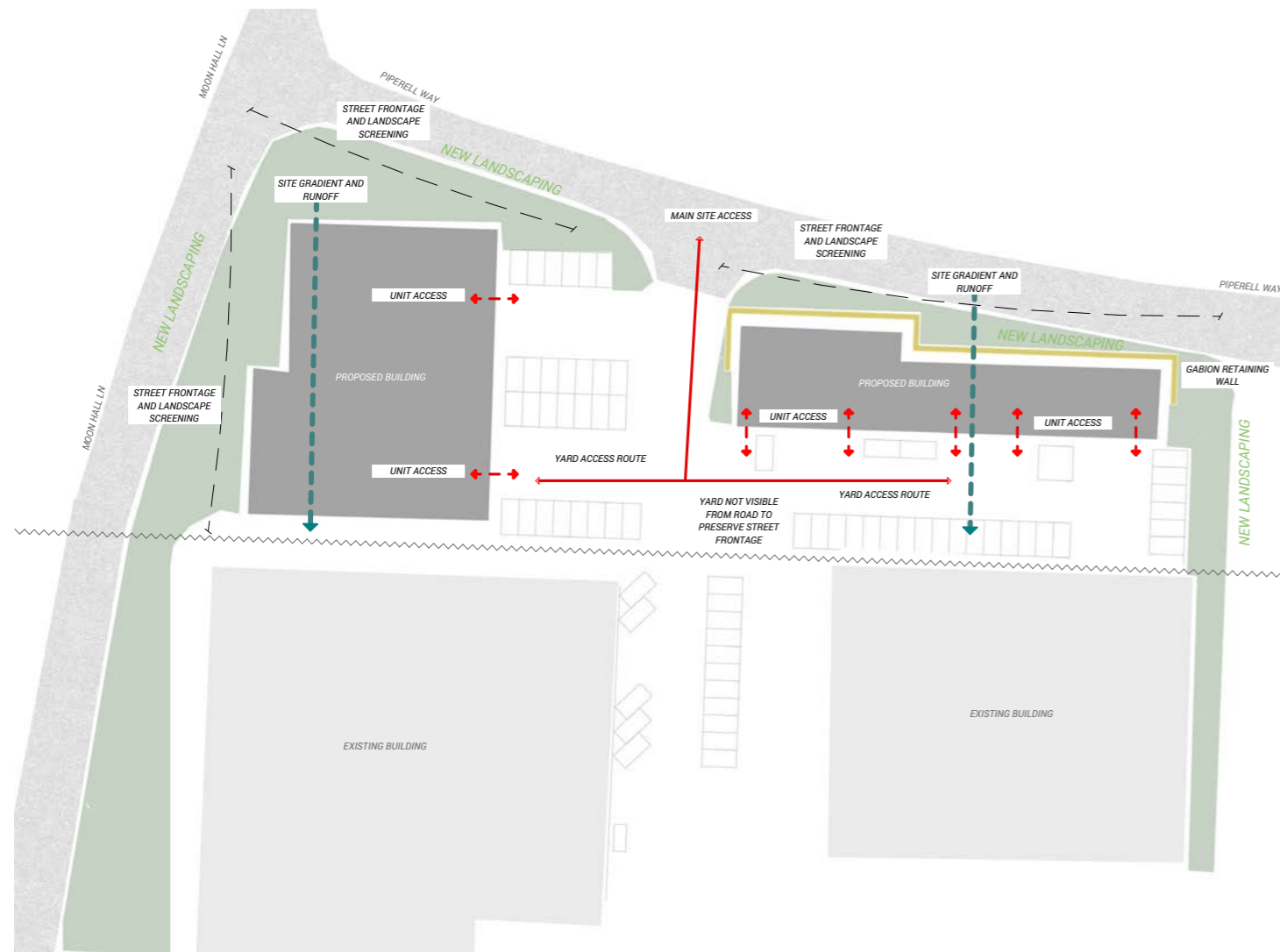
DESIGN PROPOSAL

- 2.01 DESIGN BRIEF
- 2.02 DESIGN CONCEPT
- 2.03 USE
- 2.04 SCALE
- 2.05 LAYOUT
- 2.06 ACCESS
- 2.07 APPEARANCE
- 2.08 VISUALISATIONS

2.01

DESIGN BRIEF

To carry out a feasibility study and prepare design for a new Storage and Distribution (B8) building providing valuable expansion room for the growing internet sales business. Moreover, DT Architects were asked to consider the wider site with the view to replacing the existing derelict office units with a number of new, contemporary general industrial units to meet growing demand in the area.



Concept Proposal in response to Site Constraints

2.02

DESIGN CONCEPT

The architectural approach towards the new development was to utilise the existing space as efficiently as possible and create a number of new buildings that appealed to a wide range of businesses.

Utilising the site levels, the design concept was to locate a series of small industrial units along Piperell Way, and a larger warehouse on the western half of the site. The ground would slope down from the road, so this layout allows greater flexibility on the land to the south for optimal vehicular circulation, and efficient drainage.

A stepped level approach would ensure that units 01-05 would have no detrimental effect on the street scene, as only the top half of structure would be visible to the road, with significant landscaping employed to screen the development. This is demonstrated in the CGIs shown later in this report. Not only will this preserve the areas existing aesthetics but it would also improve the site ecology (see landscaping scheme).

The adjacent sketch shows how the site plan was developed to make use of the existing site entrance and form two separate development areas visible through landscaping from Piperell Way. Moreover, it was important to mitigate any reduction in trees with new soft landscaping that further enhanced the site frontage.

In terms of materiality, an industrial style pallet of materials would reflect the nature of the buildings as well as the adjacent sites. Silver, grey and black offer a robust and low maintenance appearance for this type of architecture but with the introduction of a few feature elements such as larger glazing and a bolder prominent colour to accentuate particular elements, the units could become quite desirable.



2.03

USE

The site is currently in use as B8 Storage and Distribution with a small B1 usage for administration staff. Two large warehouses currently provide the necessary storage space for the owner however further expansion space is now required. Units 01 to 05 located to the north are proposed as the B2/B8 use. The units to the west (06-07) will be B8 only. They have been designed to replace the dilapidated and uninhabitable B1 buildings that are no longer in demand providing a more desirable alternative that will provide additional employment opportunities and space for the existing use to expand.

2.04

SCALE

The scale of the development has been designed to reflect and compliment the existing site while fulfilling the requirements of the design brief and complying with the necessary guidance and legislation.

As a whole, the proposed site layout has been designed to maximise useable floor area while refraining from over development of the site. The scale of the proposal has been developed such that it accommodates the necessary vehicular parking as well as the HGV access and turning provisions. Units 01 to 07 vary in size from 1,300 sq.ft up to almost 21,000 sq.ft. and have a proposed eaves height of either 6 or 10m. The units have been designed with flexibility in mind allowing for a mix of uses from storage to workshops.

2.05

LAYOUT

The proposed site layout is derived from an in depth analysis of the site and surrounding context followed by a feasibility study that interrogates the implications of a number of site arrangements.

The final scheme submitted seeks to utilise a single, but enhanced, site access arrangement suitable for the units and adapt the ground levels to a safer and more user friendly gradient. With the introduction of strategically placed retaining structures, the site will be able to accommodate additional vehicle movements and parking without obstructing the existing arrangements. The seven proposed units have been split into two smaller developments where they can be separately managed and benefit from increased privacy and security. Units 01 to 05 form a small courtyard to the eastern side with a designated access and vehicular parking. Units 06 and 07 form a single larger unit with a central partition which enables flexibility in its usage and ownership. Access, turning and parking is provided off the central roadway and is shared with the existing units to the south.

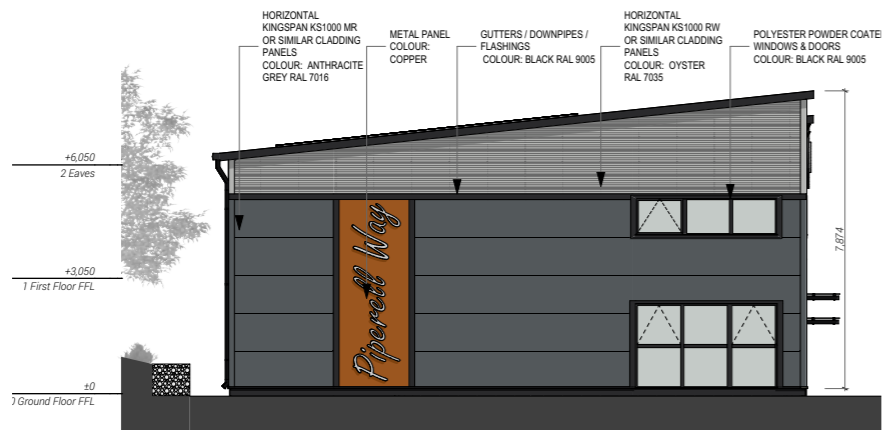
2.06

ACCESS

The proposed development will retain one main existing access arrangement to the site albeit widened and graded to accommodate the relevant HGV movements. Parking has been provided to meet current guidelines and local policy along with the addition of EV charging points for each unit. Existing spaces have been re-provided elsewhere on site ensuring no net loss of parking for existing units. Pedestrian access has been provided to each unit along with relevant fire escape routes and assembly points.



SOUTH ELEVATION AS PROPOSED
1:100



WEST ELEVATION AS PROPOSED
1:100



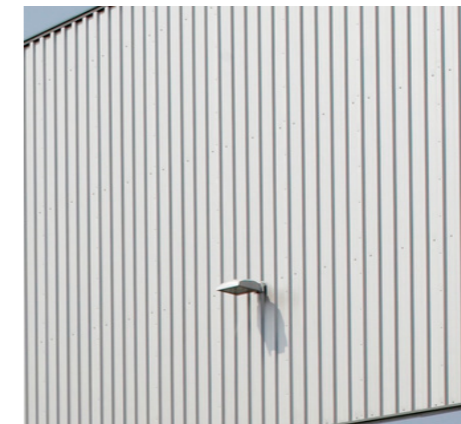
2.07

APPEARANCE

The proposed buildings are industrial in nature and as such should reflect that in their appearance. It is proposed that the use of robust insulated cladding panels such as a silver trapezoidal panel to rear elevations will ensure cost efficient and low maintenance while a smoother grey Micro-Rib panel to the front and more prominent elevations will provide a low maintenance yet higher end aesthetic while delivering a thermally efficient solution. Feature corner glazing to office areas lifts the entrance spaces and maximises natural lighting and kerb appeal. All units feature roller shutter doors into warehouse/workshop areas and it is proposed that a contemporary feature colour such as copper will create a contemporary feel to the site further improving the street scene.



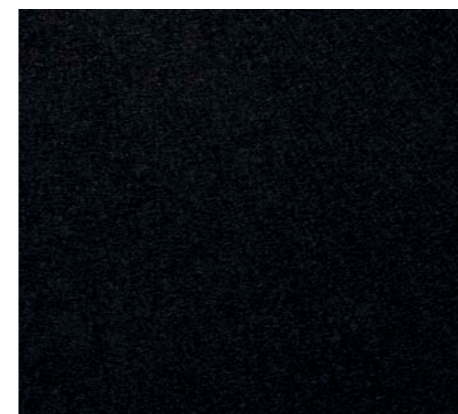
GREY MICRO RIB CLADDING -PANELS



SILVER TRAPEZOIDAL CLADDING PANEL



COPPER ROLLER SHUTTER DOORS



BLACK SMOOTH CLADDING PANELS



GREY WINDOWS AND FLASHINGS



CONCRETE HARDSTANDING

2.08

LANDSCAPING

As part of the development, it is intended that a new Landscape strategy and planting scheme is proposed for the site. While it is acknowledged that a number of trees are to be removed to facilitate the development, a scheme for new soft landscaping has been prepared which results in a significant increase in planting and a net increase in designed green spaces.





PROPOSAL ILLUSTRATION

3.0

CONSULTANT REPORTS

- 3.01 DRAINAGE REPORT
- 3.02 STRUCTURAL DESIGN
- 3.03 ARBORICULTURAL SURVEY
- 3.04 ACOUSTIC REPORT
- 3.05 TRANSPORT ASSESSMENT

3.01

DRAINAGE STATEMENT

A full Drainage Strategy has been prepared by Specialists and submitted separately.

3.02

STRUCTURAL DESIGN

Structural Engineers have been consulted as part of the design process. Full structural details will be provided to ensure the support and structure is adequate and fit for purpose.

3.03

ARBORICULTURE ASSESSMENT

An Arboricultural assessment has been carried out as part of the scheme development which considered the impacts of the proposal on the existing landscape. Although a number of existing trees are required to be removed, the proposed new landscaping scheme will ensure that replacement trees will be planted ensuring a net gain in trees and shrubs. It is the intention that where possible, additional high quality planting will be incorporated into the scheme to benefit the long term ecology. This will be in the form of native flora that provide food and shelter for birds and insects as well as improving the visual impact of the built environment.

3.04

ACOUSTIC ASSESSMENT:

An Acoustic Assessment has been carried out at the site to consider the existing and proposed impacts of vehicles and activities on the site. The report concludes that there will be no negative impact on the surrounding areas as a result of the proposed development. The complete report can be found under separate cover with this application.

3.05

TRANSPORT ASSESSMENT:

A full Transport Assessment has been submitted separately as part of this application which surveys and details the access and parking strategy proposed for this development.

4.0

SUMMARY

4.01 CONCLUSIONS

4.01

SUMMARY

This statement has been prepared to support the Full Planning Application submitted to West Suffolk District Council for the proposed demolition of two existing office buildings and the construction of 7 new General Industrial units

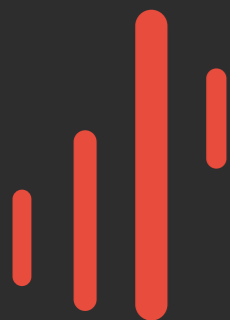
Following an assessment of the site, planning history and consultations with the end users, this application seeks to present a considered proposal that reflects both the applications requirements but also the nature of the site and surrounding built environment.

This proposal seeks permission for the removal of two dilapidated and disused office buildings located to the north of the development site and the construction of 7 replacement B2 units. The proposed units have been designed to significantly enhance the architectural character of the area but also provide valuable employment opportunities within an existing employment area. It is considered that the design and appearance of the units are in keeping with the surrounding context and have no detrimental impact on the wider streetscene.

To accompany this application, Structural, Acoustic, Transport and Landscape assessments have all been carried out which demonstrate the viability of the development as well as showing the consideration given to its visible impact on the street.

It is considered that this proposal is modest and proportionate to the scale of the site and represents a significant improvement over the sites' current facilities.

We trust that the information submitted will lead to a positive outcome for this proposal.



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