

# utilities and wastewater assessment

Land at Little Court, Haverhill  
Road, Haverhill

CCE/ZA921/UWA-02

February 2021

For CARE (Little Court) Ltd

## Document Review Sheet

This document has been prepared for use by CARE (Little Court) Ltd. Its content should not be relied upon by others without the written authority of Cannon Consulting Engineers. If any unauthorised third party makes use of this report they do so at their own risk and Cannon Consulting Engineers owe them no duty of care or skill.

The content of this report is based on information provided in late 2020. The validity of the statements made may therefore vary over time as network alterations occur.

The position of the apparatus shown on the Combined Services Plan is given without obligation and warranty, and the accuracy cannot be guaranteed. The actual position of the utilities infrastructure must be verified and established on site before any work is undertaken.

<b>Reference</b>	<b>Date</b>	<b>Author</b>	<b>Checked</b>
CCE/ZA921/UWA-01	January 2021	JAM	RT
CCE/ZA921/UWA-02	February 2021	JAM	RT

## **Contents**

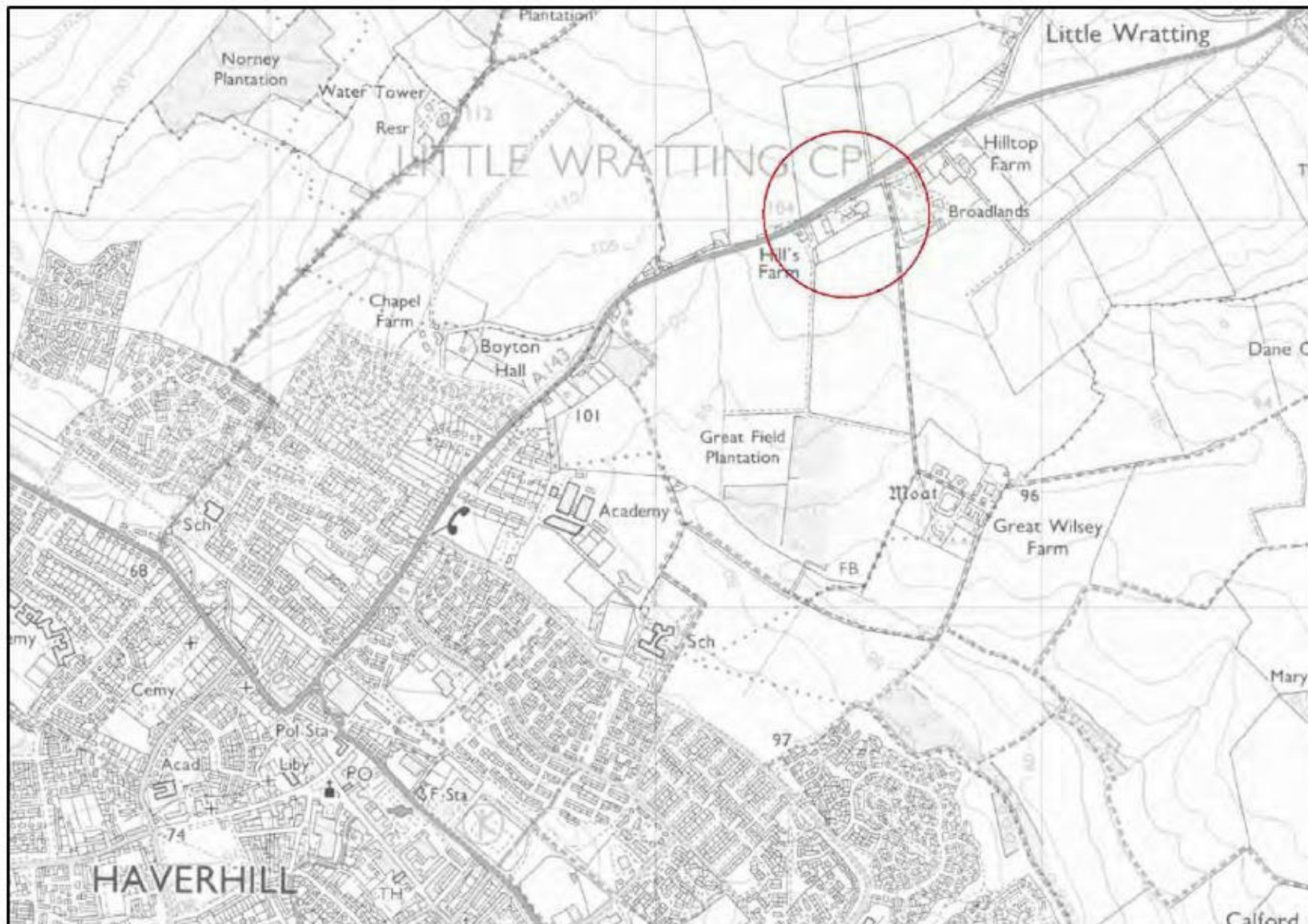
1. Introduction
2. Utilities
3. Wastewater Drainage

## **Appendices**

- A. Combined Services Plan
- B. Illustrative Layout
- C. Services Provider Correspondence
- D. Proposed Point-of-Connection Plan

## 1.0 Introduction

- 1.1 This report has been prepared to provide an overview of the servicing constraint and supply implications associated with a proposed residential development located at Little Court, Haverhill Road, Haverhill. The site is approximately centred on Ordnance Survey grid reference 568499, 246985 with the postcode of CB9 7UD (refer to Figure 1).



**Figure 1 Site Location.**

- 1.2 The site comprises a large single thatched dwelling with a modern stable and ménage. Its location also benefits from the presence of utility networks serving the adjacent developments.
- 1.3 The content of this report relates to the application site being developed for a specialist dementia care village for up to 120 residents, including central amenity building (shop, restaurant, pub, communal hall, treatment/counselling rooms, offices and staff accommodation), club/hobby rooms, vehicle parking, landscaping proposals and associated works. The proposed access will be from the existing access on to Haverhill Road to the north.
- 1.4 A combined services plan is provided at Appendix A with the illustrative layout provided at Appendix B. Initial correspondence with the service providers is included at Appendix C and an outline wastewater management strategy provided at Appendix D.

## 2.0 Utilities

### Electricity

- 2.1 The Distribution Network Operator (DNO) for the area is UK Power Networks (UKPN). UKPN has high voltage (HV) underground cables adjacent to the site to the north (refer to Appendix A).
- 2.2 The location of the underground cables (refer to Figure 2) is such that these may need to be diverted and to facilitate the proposed access improvement works. UKPN has provided a budget estimate to cover this aspect of work (refer to Appendix C). [AWAITING BUDGET COST FROM UKPN]



**Figure 2 Existing UKPN infrastructure.**

- 2.3 Initial correspondence with UKPN advises that a high voltage point-of-connection (POC) can be made to the existing network along Haverhill Road. The budget estimate includes extending the high voltage network from the opposite side of Haverhill Road to an on-site 500kVA substation. From the new substation low voltage cables will then be laid around the site to provide the low voltage property supplies. UKPN has provided a budget estimate for these works provided at Appendix C.
- 2.4 A comparison quotation from an Independent Distribution Network Operator (IDNO) was sought. This budget quotation is based on an indicative POC with no allowance for off-site costs and hence is subject to change when a later stage detailed cost is requested (refer to the GTC correspondence at Appendix C).

## Gas

- 2.5 Cadent Gas Ltd (CGL) owns and maintains the gas network serving Haverhill. CGL does not have any gas infrastructure adjacent to the site (refer to Appendix A).
- 2.6 There is an intermediate pressure (IP) gas main to the north of the site, however, it is at such a distance that it poses no constraint to the proposed development (refer to Appendix A).
- 2.7 CGL has confirmed that sufficient spare capacity exists within the existing low pressure (LP) gas main located within Haverhill Road 900m to the south-west of the site (refer to Appendix C).
- 2.8 Due to the distance of this main from the site, UKPN has provided a second budget estimate to heat the proposed development electrically (refer to Appendix C).
- 2.9 Again, an IDNO was approached for a budget cost estimation which is also included at Appendix C.

## Water Supply

- 2.10 Anglian Water (AW) plans show potable water mains within Haverhill Road to the north serving the existing development and adjacent residential area (refer to Appendix A). The potable water main along Haverhill Road (refer to Figure 3) may require diverting and/or lowering and protecting to facilitate the proposed access improvement works. Diversion of the main be delivered under S.185 of the Water Industry Act.



**Figure 3 Existing AW infrastructure.**

- 2.11 Correspondence with AW confirms that there is sufficient capacity within the existing network to supply the proposed development without the need for off-site reinforcement works (refer to Appendix C).
- 2.12 The proposed connection point will be to the existing 355mm potable water main to the north of the site (refer to Appendix C).
- 2.13 The development proposals will trigger a water infrastructure charge for each new property that connects to STW's network, payment to be made prior to premises being connected (refer to Appendix C).

### Telecommunications

- 2.14 BT operates a service in the area and has underground ducts within the adjacent road networks (refer to Appendix A). There is also underground ducts containing both fibre and copper cables crossing the site in the north (refer to Figure 4 below) and BT has confirmed that diversion of this apparatus will be required to facilitate the proposed access improvement works (refer to Appendix C).



**Figure 4 Existing BT infrastructure.**

- 2.15 BT has a statutory obligation to provide telecommunication services but it will be the developer's responsibility to arrange the required service at the appropriate time when the development proposals are advanced.
- 2.16 Virgin Media has existing ducts located within the verge to the north (refer to Figure 5 below). Diversion of this infrastructure may be required to facilitate the proposed access improvement works.



**Figure 5 Existing Virgin Media infrastructure.**

2.17 Other telecom enquiries have alerted the presence of City Fibre, KPN, Telia and Zayo infrastructure located within the verge to the north. Telia also has infrastructure crossing the site in the north (refer to Figure 6 below). Diversion of this apparatus may be required to facilitate the site's proposed access.



**Figure 6 Existing Telecoms infrastructure.**

### **Pipelines**

2.18 Linesearch has shown there are no major pipelines or transmission infrastructure in the vicinity of the site that would act as a constraint to the proposed development (refer to Appendix C).



### **3.0 Wastewater Drainage**

#### **Network**

- 3.1 AW own and maintain the wastewater network serving Haverhill. There are foul water sewers adjacent to the site serving the existing residential areas (refer to Appendix A).

#### **Conveyance**

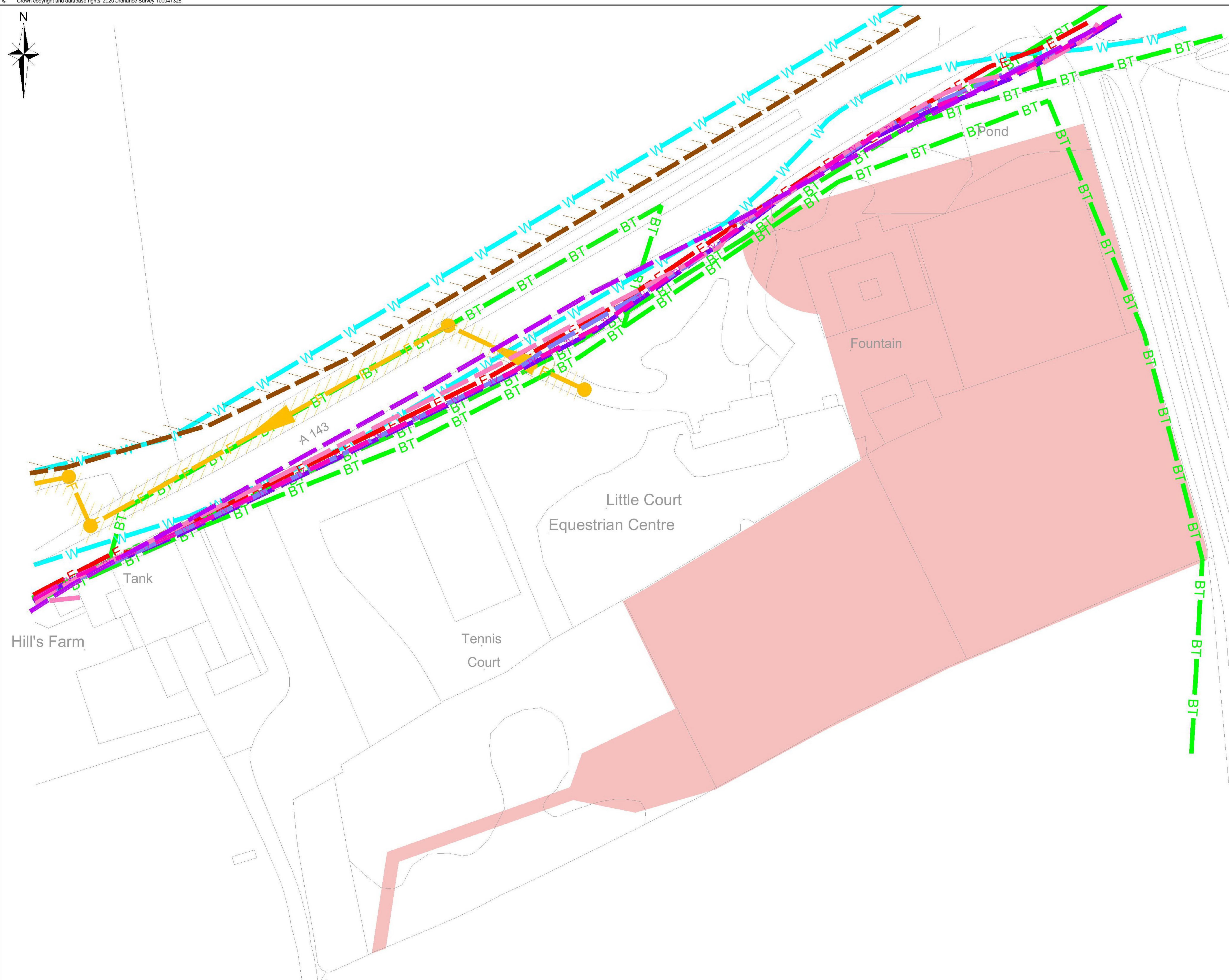
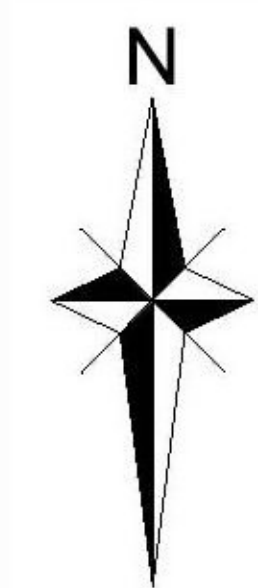
- 3.2 Correspondence with AW has confirmed that a connection can be made to their existing network located in the north-east of the site via a gravity system. The point-of-connection will be to the existing 150mm foul water sewer at manhole 4001 (refer to Appendix C). AW has provided the infrastructure charge within their report.
- 3.3 A proposed point-of-connection plan can be found at Appendix D.

#### **Treatment**

- 3.4 The proposed development is in the catchment of Kedington Water Recycling Centre (WRC), which currently has available capacity to treat the flows arising from the proposed development (refer to Appendix C).

## **Appendices**

## Appendix A – Combined Services Drawing



**KEY**

- UKPN HV UG CABLES
- ANGLIAN WATER POTABLE WATER MAIN
- ANGLIAN WATER FOUL WATER SEWER WITH ASSOCIATED 6m EASEMENT
- ANGLIAN WATER RISING MAIN
- BT DUCT
- CITY FIBRE DUCT
- KPN DUCT
- TELIA DUCT
- ZAYO DUCT
- VIRGIN MEDIA DUCT

**NOTES**

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. The actual position of the services must be verified and established on site before any work is undertaken.

Reproduced from Promap by permission of Ordnance Survey® on behalf of The Controller of Her Majesty's Stationery Office. ©Crown copyright 2021. All rights reserved. Licence number 100020449.

Approximate positions only

PO1	SITE BOUNDARY REVISED	JAM	JAN 2021
REV	DESCRIPTION	DE	DR
DESIGNED BY	DRAWN BY	CHECKED BY	
-	JAM	RBT	
SCALE @ A1 SIZE	DATE		
N.T.S	15/12/2020		
PROJECT TITLE			
LITTLE COURT, WRATTING ROAD, HAVERHILL			

**DRAWING TITLE**

COMBINED SERVICES PLAN

**CLIENT**

CARE (LITTLE COURT) LTD

**CANNON**  
CONSULTING ENGINEERS  
Highways, Transport & Infrastructure Planning

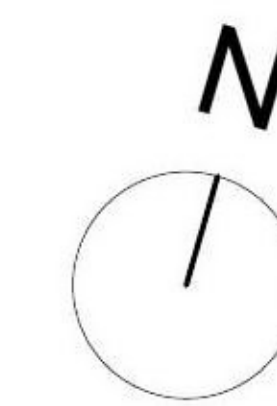
Peck House, 20 Eastcheap London, EC3M 1EB  
Tel: 020 7717 5870  
info@cannonce.co.uk

Cambridge House, Lanwades Business Park, Kentford, Newmarket, CB8 7PN  
Tel: 01635 655107  
www.cannonce.co.uk

DRAWING NUMBER	REV.
ZA921-PL-SK-400	PO1

M:\2921 Little Court, Wrattling Road, Haverhill\3 PLANS\DRAWINGS\CURRENT DRGS\2921-PL-SK-400-PO1-COMBINED SERVICES PLAN

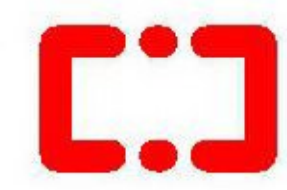

## Appendix B – Illustrative Layout

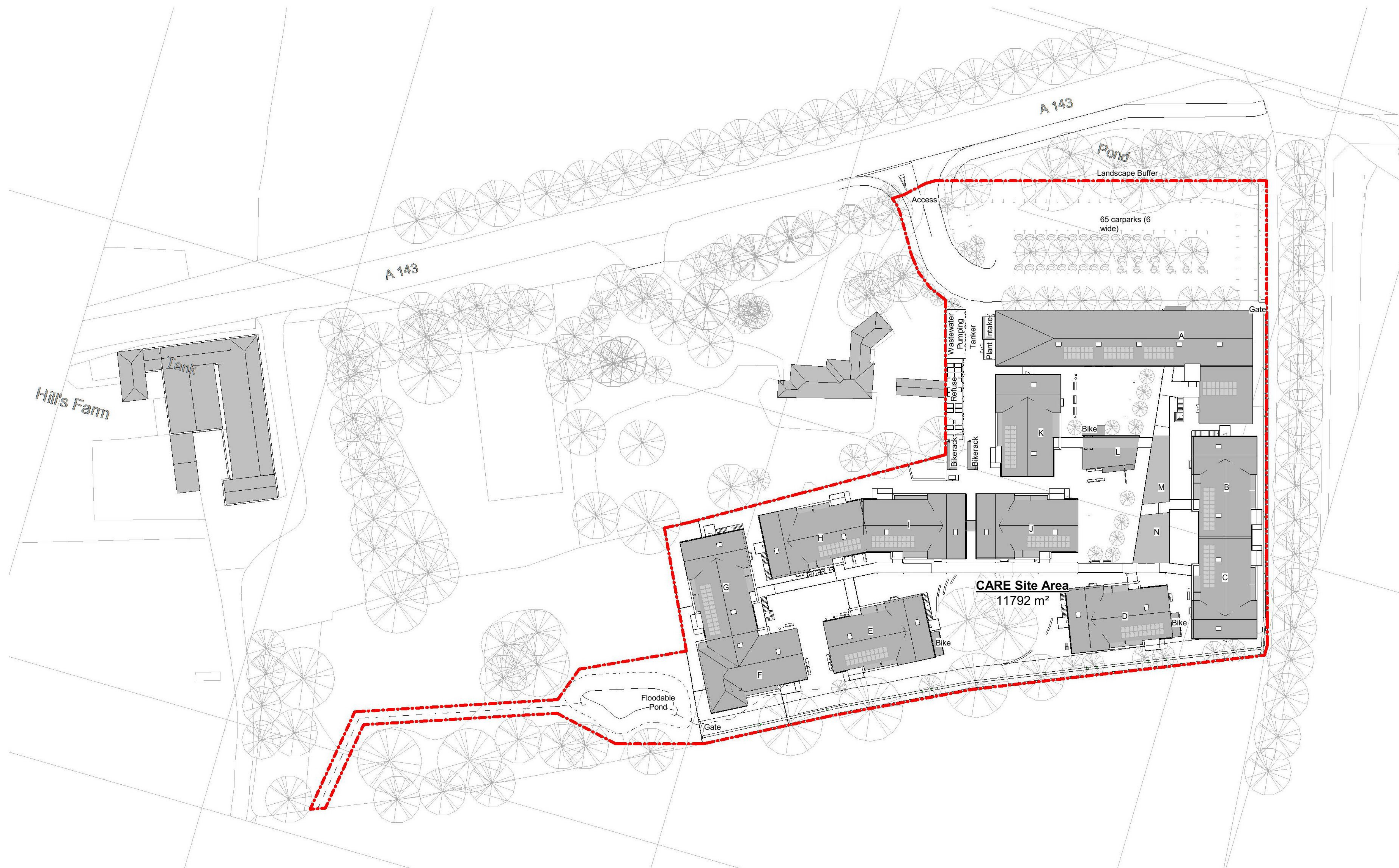


This drawing is the copyright of the architect JBA. All dimensions and conditions to be verified on site by the relevant Contractor prior to proceeding.

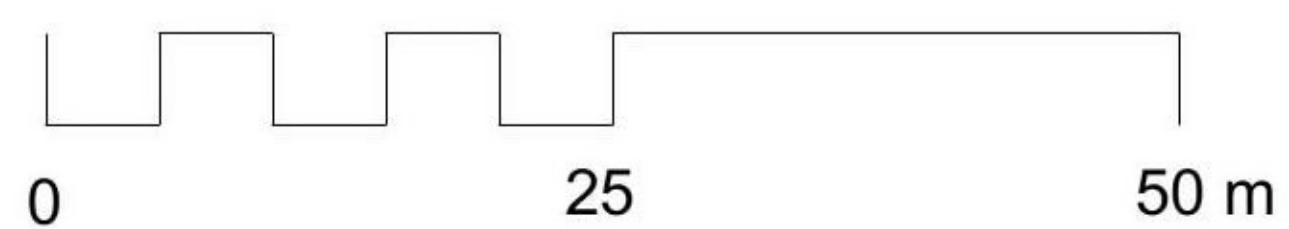
... Standard industry solutions apply unless otherwise stated. All dimensions are in millimeters and are to structural faces or centres unless otherwise stated. not to finishes unless otherwise stated. Survey by others.

This drawing must be read in conjunction with all other relevant drawings and specifications from the Architect and other consultants. If in doubt, ask.

-  Proposed Site Boundary
-  Building



**1** Site Plan Proposed  
1:500



Rev.	DD/MM/YY	Initials	Description

## Jordan+Bateman Architects

Head Office: T +44 (0)20 7363 8866  
 The Gothic Building F +44 (0)20 7363 1335  
 Chantry Mills, High Street jba@jandba.com  
 Haverhill, Suffolk, CB9 8AZ, UK www.jandba.com

Project:	Little Court
Client:	CARE (Little Court) Ltd
Drawing:	Site Plan Proposed
Date:	29/01/21
Scale:	As indicated @ A1
Drawn By:	LE
Drawing No:	410_00_00_PL_A_1010
Revision:	
Preliminary	<input checked="" type="checkbox"/> [ X ]
Tender	<input type="checkbox"/> [ ]
Construction	<input type="checkbox"/> [ ]

# Site Plan Proposed

## Appendix C – Service Providers Correspondence

Mrs Jenni Askew-Martin  
Cannon Consulting Engineers  
Cambridge House  
Lanwades Business Park  
Kennett  
Newmarket  
Suffolk  
CB8 7PN

Date: 18 January 2021

Our Ref: 8500166224 / QID 3000031246

Dear Mrs Askew-Martin

## Site Address: Haverhill Road / Haverhill CB9 7UD

Thank you for your recent enquiry regarding the above premises. I am writing to you on behalf of Eastern Power Networks plc the licensed distributor of electricity for the above address trading as UK Power Networks.

I am pleased to be able to provide you with a budget estimate for the work.

It is important to note that this budget estimate is intended as a guide only. It may have been prepared without carrying out a site visit or system studies. No enquiry has been made as to the availability of consents or the existence of any ground conditions that may affect the ground works. It is not an offer to provide the connection and nor does it reserve any capacity on UK Power Networks electricity distribution system.

### Budget estimate:

#### Description

This estimate is for 680kVA connection for a care home.

#### High Voltage Point Of Connection

£95,000.00 (exclusive of VAT) if the Point Of Connection (POC) is to our High Voltage network along Haverhill Road. This estimate includes extending the high voltage network from the opposite side of Haverhill Road to an on-site 800kVA substation with an ACB. Your low voltage tails will terminate into the ACB for 680kVA. Your intake position will need to be adjacent to the substation.

This estimate is subject to obtaining third party legals. It does not include any traffic management that may be required.

#### Assumptions

This budget estimate is based on the following assumptions:

- The most appropriate Point of Connection (POC) is as described above.
- A viable cable route exists along the route we have assumed between the Point of Connection (POC) and your site.



- In cases where the Point of Connection (POC) is to be at High Voltage, that a substation can be located on your premises at or close to the position we have assumed.
- Where electric lines are to be installed in private land UK Power Networks will require an easement in perpetuity for its electric lines and in the case of electrical plant the freehold interest in the substation site, on UK Power Networks terms, without charge and before any work commences.
- You will carry out, at no charge to UK Power Networks, all the civil works within the site boundary, including substation bases, substation buildings where applicable and the excavation/reinstatement of cable trenches.
- Unless stated in your application, all loads are assumed to be of a resistive nature. Should you intend to install equipment that may cause disturbances on UK Power Networks' electricity distribution system (e.g. motors; welders; etc.) this may affect the estimate considerably.
- All UK Power Networks' work is to be carried out as a continuous programme of work that can be completed substantially within 12 months from the acceptance of the formal offer.

Please note that if any of the assumptions prove to be incorrect, this may have a significant impact on the price in any subsequent quotation. You should note also that UK Power Networks' formal connection offer may vary considerably from the budget estimate. If you place reliance upon the budget estimate for budgeting or other planning purposes, you do so at your own risk.

### If you would like to proceed

If you would like to proceed to a formal offer of connection then you should apply for a quotation. Please refer to our website [click here](#) for 'The connection process' which details our application process.

To help us progress any future enquiry as quickly as possible please quote the UK Power Networks Reference Number from this letter on all correspondence.

If you have any questions about your budget estimate or need more information, please do not hesitate to contact me. The best time to call is between the hours of 9am and 4pm, Monday to Friday. If the person you need to speak to is unavailable or engaged on another call when you ring, you may like to leave a message or call back later.

Yours sincerely



Angela Adkins  
Unit 5 York Way  
Borehamwood, Herts  
WD6 1DJ  
07592 330287  
PrelimsEPN@ukpowernetworks.co.uk

Mrs Jenni Askew-Martin  
Cannon Consulting Engineers  
Cambridge House  
Lanwades Business Park  
Kennett  
Newmarket  
Suffolk  
CB8 7PN

Date: 14 December 2020

Our Ref: 8500163434 / QID 3000030761

Dear Mrs Askew-Martin

## Site Address: Haverhill Road / Haverhill CB9 7UD

Thank you for your recent enquiry regarding the above premises. I am writing to you on behalf of Eastern Power Networks plc the licensed distributor of electricity for the above address trading as UK Power Networks.

I am pleased to be able to provide you with a budget estimate for the work.

It is important to note that this budget estimate is intended as a guide only. It may have been prepared without carrying out a site visit or system studies. No enquiry has been made as to the availability of consents or the existence of any ground conditions that may affect the ground works. It is not an offer to provide the connection and nor does it reserve any capacity on UK Power Networks electricity distribution system.

### Budget estimate:

#### Description

This estimate is for 272kVA connection for a care home.

#### High Voltage Point Of Connection

£90,000.00 (exclusive of VAT) if the Point Of Connection (POC) is to our High Voltage network along Haverhill Road. This estimate includes extending the high voltage network from the opposite side of Haverhill Road to an on-site 500kVA substation. From the new substation a low voltage cable will be laid to your intake room to a 400A cut-out with CT's for a 272kVA connection.

This estimate is subject to obtaining third party legals. It does not include any traffic management that may be required.

#### Assumptions

This budget estimate is based on the following assumptions:

- The most appropriate Point of Connection (POC) is as described above.
- A viable cable route exists along the route we have assumed between the Point of Connection (POC) and your site.

- In cases where the Point of Connection (POC) is to be at High Voltage, that a substation can be located on your premises at or close to the position we have assumed.
- Where electric lines are to be installed in private land UK Power Networks will require an easement in perpetuity for its electric lines and in the case of electrical plant the freehold interest in the substation site, on UK Power Networks terms, without charge and before any work commences.
- You will carry out, at no charge to UK Power Networks, all the civil works within the site boundary, including substation bases, substation buildings where applicable and the excavation/reinstatement of cable trenches.
- Unless stated in your application, all loads are assumed to be of a resistive nature. Should you intend to install equipment that may cause disturbances on UK Power Networks' electricity distribution system (e.g. motors; welders; etc.) this may affect the estimate considerably.
- All UK Power Networks' work is to be carried out as a continuous programme of work that can be completed substantially within 12 months from the acceptance of the formal offer.

Please note that if any of the assumptions prove to be incorrect, this may have a significant impact on the price in any subsequent quotation. You should note also that UK Power Networks' formal connection offer may vary considerably from the budget estimate. If you place reliance upon the budget estimate for budgeting or other planning purposes, you do so at your own risk.

### If you would like to proceed

If you would like to proceed to a formal offer of connection then you should apply for a quotation. Please refer to our website [click here](#) for 'The connection process' which details our application process.

To help us progress any future enquiry as quickly as possible please quote the UK Power Networks Reference Number from this letter on all correspondence.

If you have any questions about your budget estimate or need more information, please do not hesitate to contact me. The best time to call is between the hours of 9am and 4pm, Monday to Friday. If the person you need to speak to is unavailable or engaged on another call when you ring, you may like to leave a message or call back later.

Yours sincerely



Angela Adkins  
Unit 5 York Way  
Borehamwood, Herts  
WD6 1DJ  
07592 330287  
PrelimsEPN@ukpowernetworks.co.uk

# Asset Value Quotation

## Project & Customer Details

Energy Asset Networks Reference: EAN013082  
Revision: Initial Quote  
Site Name: Land at Haverhill  
Your Reference: JA-M/ZA921/EN2020.  
Postcode: CB9 7UD  
Point of Connection Voltage: LV

Customer Name: Cannon Consulting Engineers  
Address: Cambridge House,  
Lanwades Business Park,  
Kentford,  
Suffolk, CB8 7PN  
Customer Contact: Reece Wilson

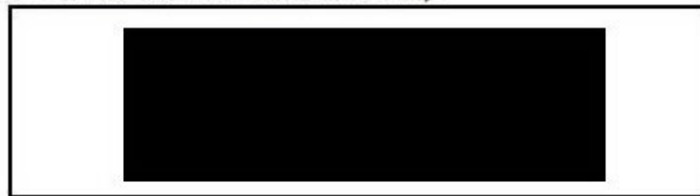
## Property & Asset Value Details

Beds	Detached	Semi	Terraced	Bungalow	Flat	Total
1	0	0	0	0	136	136
2	0	0	0	0	0	0
3	0	0	0	0	0	0
4	0	0	0	0	0	0
5	0	0	0	0	0	0
6	0	0	0	0	0	0
						<b>136</b>

Fuel Type: Electric  
Date of Offer: 03/12/2020  
Date of Expiry: 04/03/2021  
Initial Payment (20%): £3,579.52  
Payment Per Plot: £105.26  
Total Plots: 136  
**Total Asset Value: £17,894.88**

## Offer and Acceptance of Quotation

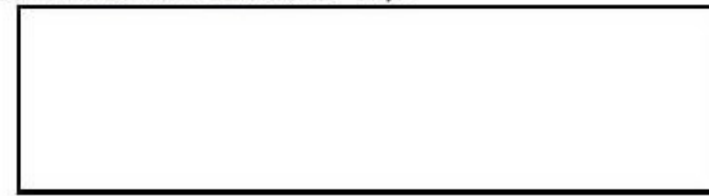
Signed on Behalf of EA Networks By:



**Name:** Jayson Whitaker

**Date:** 03/12/2020

Signed on Behalf of Customer By:



**Name:**

**Date:**

## Payment Terms and Conditions (EAN)

- The **'Customer'** is the company requesting this Asset Value Quotation (the **'Quotation'**), for adoption of the Gas/Electric infrastructure.
- The **'Company'** referred to below is Energy Assets Networks Limited (EAN), for electric constructions to be constructed by the Customer, and adopted by the Company, as relevant.
- This Quotation, the Customer, and the Company who have entered into it are governed and bound by the Electricity Asset Adoption Agreement (herein the **'Agreement'**). Should there be any conflict between the terms of the Quotation and the terms of the Agreement the terms of the Quotation shall prevail.
- The **'Residential Initial Payment'** is equal to 20% of the residential Asset Value capped at £25,000.00.
- The **'Residential Per Plot Payment'** is equal to 80% of the residential Asset Value divided by the total number of residential plots.
- A **'Non-Half-Hourly Plot'** is a plot for which the electrical load at the meter is less than 69.5kVa and requires Whole Current (WC) metering.
- A **'Half-Hourly Plot'** is a plot for which the electrical load at the meter is greater than or equal to 69.5kVa and requires Current Transformer/Voltage Transformer (CT/VT) metering.
- The Quotation is only valid when an Agreement has been signed, received and approved by the Company.
- Payment shall be made for all approved invoices within 30 days of the Company receiving a valid invoice for the completed Electric works.
- The Company reserves the right to adjust the Quotation in the event of a deviation to the Customer's design proposal, including changes to the submitted property type(s) and/or numbers.
- The Quotation is subject to current industry tariffs. Should fluctuations in industry governance significantly affect these tariffs the Company reserves the right to adjust the Quotation.
- The Quotation does not include any allowance for any costs for reinforcement of upstream networks/systems. Any costs due to reinforcement are to be borne by the Customer.
- The Quotation does not include any allowance for easements, servitudes or installation within third party land. The Customer is responsible for all costs, negotiations and legal obligations associated with obtaining the relevant Transfer/Lease and Wayleaves/Easements for any designs where assets are to be laid or equipment installed in third party land, river or rail crossings.
- All payments will be subject to receiving the required project completion files.
- All payments will be subject to receiving confirmation of electric supply energisation relating to each plot connection.
- All invoices must be received within two years of energisation relating to each plot connection.
- The Quotation is subject to construction by a NERS accredited contractor.
- Payments shall be made by the Company to the Customer in accordance with the following:
  - On connection of first residential property, amount payable equal to the Residential Initial Payment plus a single Residential Per Plot Payment, and;
  - On connection of all further residential properties, amount payable equal to the Residential Per Plot Payment multiplied by the number of residential connections completed on site at the end of the calendar month.
  - On energisation of any Industrial & Commercial (I&C) Non-Half-Hourly Plot together with the associated completion files, amount payable equal to 100% of Asset Value for that plot.
  - On energisation of any I&C Half-Hourly Plot together with associated completion files amount payable equal to 50% of Asset Value for that plot; and
  - On 12-month anniversary of I&C plot energisation should the consumption in any half-hour period be:
    - equal to or greater than the electrical load stated by the Customer for that I&C plot, amount payable equal to 50% of Asset Value for that plot; or
    - less than the electrical load stated by the Customer for that I&C plot, amount payable to be proportionally reduced, limited to 0%, of the Asset Value for that plot.
- Payment will be subject to receipt of valid invoice being received no later than three months after the date of energisation to each property. If the Customer fails to provide any such invoice to the IDNO Company within a three-month period, the IDNO Company shall be under no obligation to make any payment.

**Network Enquiry No** : 180013074  
**Your Reference** : JA-M/ZA921

## Cadent Gas Limited

National Gas Emergency Service - 0800 111 999\* (24hrs)  
\*calls will be recorded and may be monitored

JENNI ASKEW-MARTIN  
Cannon Consulting Engineers  
CAMBRIDGE HOUSE  
LANWADES BUSINESS PARK  
KENNETT  
NEWMARKET  
CB8 7PN

**Date** : 8th December 2020  
**Contact** : Performance and Support  
**Direct Tel** : 0845 3666758  
**Email** : networkdesign@cadentgas.com

[www.cadentgas.com](http://www.cadentgas.com)

**Dear JENNI,**

**Re: Land Enquiry for Proposed Development Site at NEW SUPPLY, LAND AT, HAVERHILL ROAD, HAVERHILL, SUFFOLK, CB9 7UD.**

Thank you for your enquiry which we received on 2nd December 2020. I enclose details of Cadent Gas plant in the vicinity of your proposed supply.

The nearest main with sufficient capacity is 900 metres from the site boundary and it is a Low Pressure main.

This Developer Enquiry response is a reflection of the network at the time delivered and is not a guarantee of gas flow or capacity due to the changing dynamics of the gas distribution network. If you wish to secure capacity and connect to the network please submit quotation Connections Request via the official connections route allowing for further analysis to verify the capability of the network again. Standard design pressures have been used. Refer to [www.Cadentgas.com](http://www.Cadentgas.com)

Plans attached: Yes

A copy of the Cadent Connections Charging Statement referenced in this letter can be found on Cadent's website:

<http://cadentgas.com/Get-connected>

If you require a printed version please contact us on the details provided above.

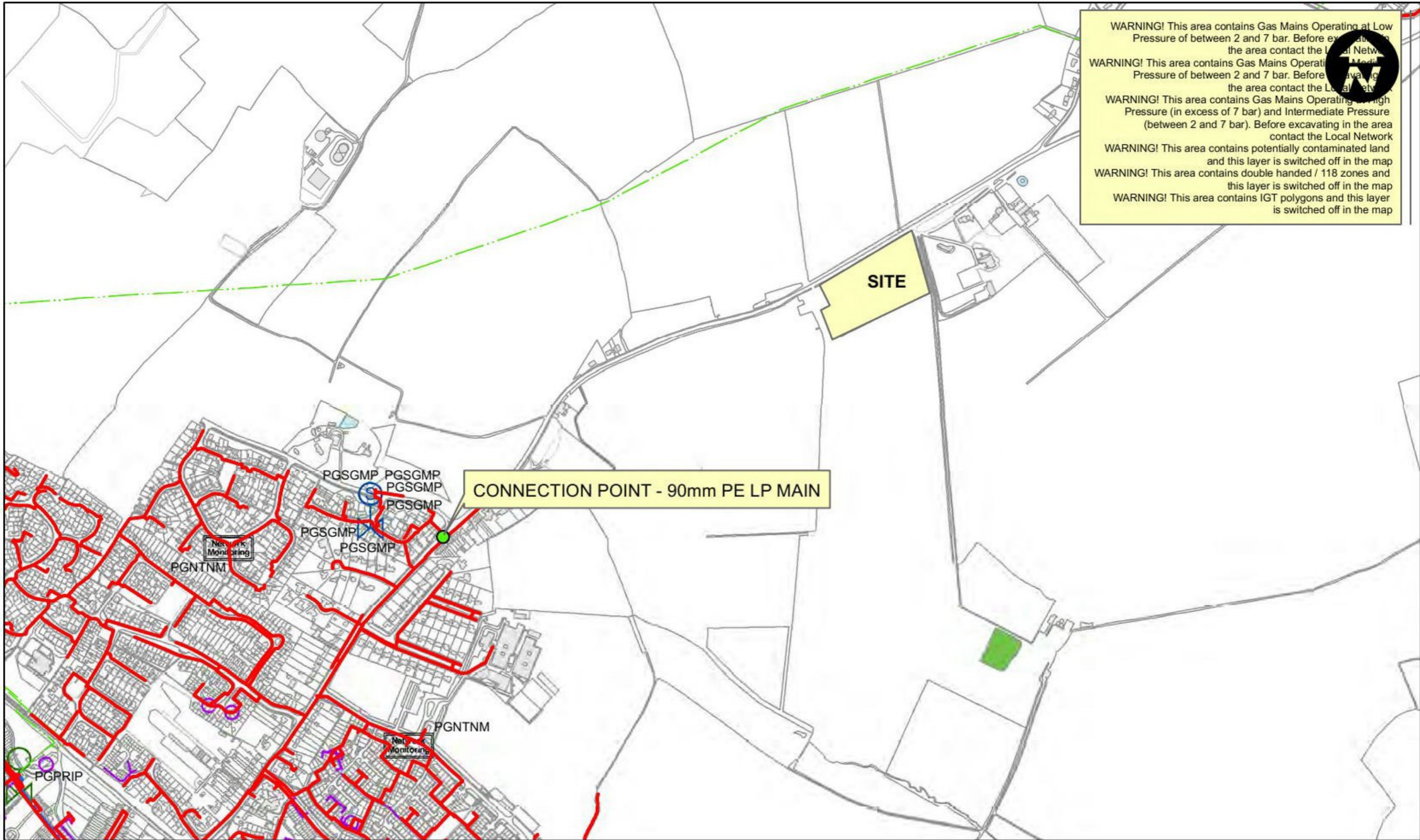
I trust this meets with your requirements at this stage. If you have any queries please do not hesitate to contact Performance and Support on the above number.

Yours sincerely,



Laura Cheshire





WARNING! This area contains Gas Mains Operating at Low Pressure of between 2 and 7 bar. Before excavating in the area contact the Local Network Operator.

WARNING! This area contains Gas Mains Operating at Medium Pressure of between 2 and 7 bar. Before excavating in the area contact the Local Network Operator.

WARNING! This area contains Gas Mains Operating at High Pressure (in excess of 7 bar) and Intermediate Pressure (between 2 and 7 bar). Before excavating in the area contact the Local Network Operator.

WARNING! This area contains potentially contaminated land and this layer is switched off in the map

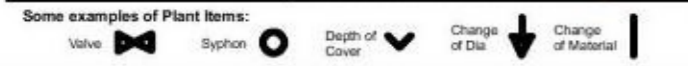
WARNING! This area contains double handed / 118 zones and this layer is switched off in the map

WARNING! This area contains IGT polygons and this layer is switched off in the map

CONNECTION POINT - 90mm PE LP MAIN

SCALE: 1:500 @ A4  
 USER ID:james.mason  
 DATE: 07-Dec-2020 15:39:54  
 INTERNAL USE ONLY  
 OS Ref: 568186, 246723  
 CENTRE: <Centre>

L/P GAS MAIN  
 M/P GAS MAIN  
 I/P GAS MAIN  
 H/P GAS MAIN  
 N/H/P GAS MAIN  
 PROPOSED PIPE - LP  
 PROPOSED PIPE - MP  
 PROPOSED PIPE - IP  
 ABANDON - LP  
 ABANDON - MP  
 Out Of Standard Service



SCHEME: <NG GDFO Scheme Name>  
 DESIGN: <NG GDFO Design Number>  
 REVISION: <NG GDFO Revision>

This plan shows those pipes owned by Cadent in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plans given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Cadent Gas Limited or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and any other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

180013074

This plan is reproduced from or based on the OS map by Cadent Gas Limited, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved..

# Asset Value Quotation

## Project & Customer Details

Energy Asset Pipelines Reference: EAP013079  
Revision: Initial Quote  
Site Name: Land at Haverhill  
Your Reference: JA-M/ZA921/EN2020.  
Postcode: CB9 7UD  
SMART Meter Included: Yes

Customer Name: Cannon Consulting Engineers  
Address: Cambridge House,  
Lanwades Business Park,  
Kentford,  
Suffolk, CB8 7PN  
Customer Contact: Reece Wilson

## Property & Asset Value Details

Beds	Detached	Semi	Terraced	Bungalow	Flat	Total
1	0	0	0	0	136	136
2	0	0	0	0	0	0
3	0	0	0	0	0	0
4	0	0	0	0	0	0
5	0	0	0	0	0	0
6	0	0	0	0	0	0
						<b>136</b>

Fuel Type: Gas  
Date of Offer: 02/12/2020  
Date of Expiry: 03/03/2021  
AV Includes SMART Meters: Yes  
Initial Payment (10%): £4,813.72  
Secondary Payment (10%): £4,813.72  
Payment Per Plot: £283.14  
Total Plots: 136  
**Total Asset Value: £48,134.48**

## Offer and Acceptance of Quotation

Signed on Behalf of EA Pipelines By:



**Name:** John McLuskey

**Date:** 02/12/2020

Signed on Behalf of Customer By:



**Name:**

**Date:**

## Payment Terms and Conditions (EAP)

1. The '**Customer**' is the company requesting this Asset Value Quotation (the '**Quotation**'), for adoption of the Gas/Electric infrastructure.
2. The '**Company**' referred to below is Energy Assets Pipelines Limited (EAP), for gas constructions to be constructed by the Customer, as relevant.
3. This Quotation, the Customer, and the Company who have entered into it are governed and bound by the Gas Asset Adoption Agreement (herein the '**Agreement**'). Should there be any conflict between the terms of the Quotation and the terms of the Agreement the terms of the Quotation shall prevail.
4. The Quotation is only valid when an Agreement has been signed, received and approved by the Company.
5. Payment shall be made for all approved invoices within 30 days of the Company receiving a valid invoice for the completed Gas works.
6. The Company reserves the right to adjust the Quotation in the event of a deviation to the Customer's design proposal, including changes to the submitted property type(s) and/or numbers.
7. The Quotation is subject to current industry tariffs. Should fluctuations in industry governance significantly affect these tariffs the Company reserves the right to adjust the Quotation.
8. The Quotation does not include any allowance for any costs for reinforcement of upstream networks/systems. Any costs due to reinforcement are to be borne by the Customer.
9. The Quotation does not include any allowance for consents/land rights or installation within third party land. The Customer is responsible for all costs, negotiations and legal obligations associated with obtaining the relevant Transfer/Lease/ and Wayleaves/Easements for any designs where assets are to be laid or equipment installed in third party land, river or rail crossings.
10. The Quotation is based on the Company being the gas meter asset owner at all supply points, if this changes the Company reserves the right to adjust the quotation value.
11. All payments will be subject to receiving the required project completion files.
12. All payments will be subject to receiving gas meter installation reports relating to each plot connection.
13. The Quotation is subject to construction by a GIRS accredited contractor.
14. Initial Payment will be 10% of the total Asset Value, payable upon commissioning of the network, subject to a maximum of £25,000.
15. Secondary Payment will be 10% of the total Asset Value, payable on the connection and commissioning of the first property connection. Subject to a maximum of £25,000.
16. All subsequent payments will be calculated using the remaining 80% of the total asset value divided by the total number of property connections completed within the calendar month.
17. Payment will be subject to receipt of valid invoice being received no later than three months after the date of commissioning to each property. If the Customer fails to provide any such invoice to the Company within a three-month period, the Company shall be under no obligation to make any payment.



JSM Scheme Ref: JSM/DW/ZAYO/21/003

Your Ref:

JSM Tracker Ref:

---

## JSM GROUP

Sterling House  
Mutton Lane  
Potters Bar  
EN6 3AR

## Cannon Consulting Engineers

Cambridge House  
Lanwades Business Park  
Kentford  
CB8 7PN

For the Att. of: Jenni Askew-Martin

Dear Jenni,

*Re: Little Court Dev. Haverhill Road, Haverhill – Zayo Network Diversions*

### **NRSWA 1991 – Draft Schemes and Budget Estimates**

Further to your email, C3 enquiry dated 07/01/21, I can confirm that the Zayo infrastructure will be affected by your proposed scheme.

In accordance with The New Roads & Street Works Act 1991, we have enclosed one copy of our records showing the approximate locations of Zayo apparatus, together with details of our proposed necessary alterations and budget estimate. Please be advised The C3 Budget Estimate is valid for 6 months.

I should emphasize that this is a budgetary estimate and only intended as a guide to the possible costs which may differ from that shown. You will be required to meet the full cost of our carrying out any required alteration. Any outstanding balance, whether more or less, will be debited or credited to you on completion of the works.

An upfront fee for attendance at a site meeting, surveying the affected network and compiling a detailed C4 estimate is required to initiate the process. For this scheme the fee is £2,211.19 + VAT.

Payment of the estimate is required in advance of any diversionary work being carried out. Should you wish to proceed our preferred payment is by BACS. Please contact me for a JSM Commercial Tracker Number and our bank details.

For and on behalf of Zayo.

Yours sincerely,



Paul Wilson

Project Manager Diversionary Works

M: 07834173557

[paul.wilson@jsmgroup.com](mailto:paul.wilson@jsmgroup.com)



14/01/2021

## NEW ROADS AND STREET WORKS ACT 1991

## Appendix C3 to the Code of Practise (CoP)

Little Court Dev. Haverhill Road, Haverhill, Suffolk

JSM/DW/ZAYO/21/003

Tracker Ref: TBC

HA Ref No: 0

**Estimated Project Costs:****Less deductions for:**

Deferment of Renewal	Expectancy 100 yrs / Expired life ?? yrs	£	-	NO
Betterment		£	-	NO
Materials Recovered		£	-	NO
<b>Total Deductions</b>			<b>£</b>	<b>-</b>
<b>Total Cost of Works</b> (exclusive of measures undertaken by HA)		<b>£</b>	<b>[REDACTED]</b>	<b>(a)</b>
<b>In the case of works covered by the cost sharing principle</b>				
Cost Share 7.5% or 18% Total Estimated Cost of Works (a)		£	-	0.0% (b)
Cost Share of _____ for measures undertaken by HA		£	-	(c)
<b>Allowable Cost Share (b + c)</b>		<b>£</b>	<b>-</b>	<b>(d)</b>
Cost Share of _____ for the proportion of total cost funded by 3rd parties (As defined by the Regulations)		£	-	(e)
<b>Net Allowable Cost Share (d + e)</b>			<b>£</b>	<b>-</b>
<b>Net Detailed Estimate (excluding VAT) (a - f)</b>			<b>£</b>	<b>[REDACTED]</b>

Advance Payment required (Highways Authorities 75%; All others 100% of Net Detailed Estimate)		100%	£	[REDACTED]	(h)
Any other adjustments			£	-	(i)
<b>Total Lump Sum Payment before Diversionary Works begin (exc VAT) (g - h ± i)</b>			<b>£</b>	<b>[REDACTED]0</b>	
<b>Value Added Tax at the current rate (%)</b>			<b>£</b>	<b>[REDACTED]</b>	
<b>Total Lump Sum Payment before Diversionary Works begin (including VAT)</b>			<b>£</b>	<b>[REDACTED]</b>	

**Notes:**

- 1 The Estimate should be supplied with and relate to the Code of Practice Appendix C3
- 2 Evidence to substantiate the Estimate to be retained by the Undertaker
- 3 The age and estimated full life of the apparatus should be made available to enable deferment of renewal calculations to be verified. Refer <http://www.hauc-uk.org.uk/category/11/pageid/80/> and <http://hauc-uk.org.uk/publication/24>
- 4 Cost sharing percentages are in accordance with the Sharing of Costs of Works Regulations.
- 5 Cost sharing will only apply where the qualifying promoter chooses to pay 75% of the net allowable costs in advance of the works in whole.

**NEW ROADS AND STREETWORKS ACT 1991**

**BUDGET ESTIMATE**

Appendix C3 to the Code of Practise (CoP)

Measures Necessary Where Apparatus is Affected By Major Works (Diversionary Works)

Name and Address: Zayo Group Diversionary Works Enquiries  
c/o Paul Wilson  
JSM Construction Ltd  
Sterling House  
Mutton Lane  
Potters Bar  
Herts, EN6 3AR

Telephone: 01992 788 019 or 07834 173 557

Your Ref:  
Our Ref: JSM/DW/ZAYO/21/003  
**JSM Tracker REF: TBC**

Date of Estimate: 14/01/2021

Undertaker: Zayo Group

Scheme: **Little Court Dev. Haverhill Road, Haverhill, Suffolk**

Civils Lead Times: Mobilise within 2 weeks of receipt of payment subject to Local Authority agreements  
Fibre Lead Times: n/a

**Budget Estimate Summary**

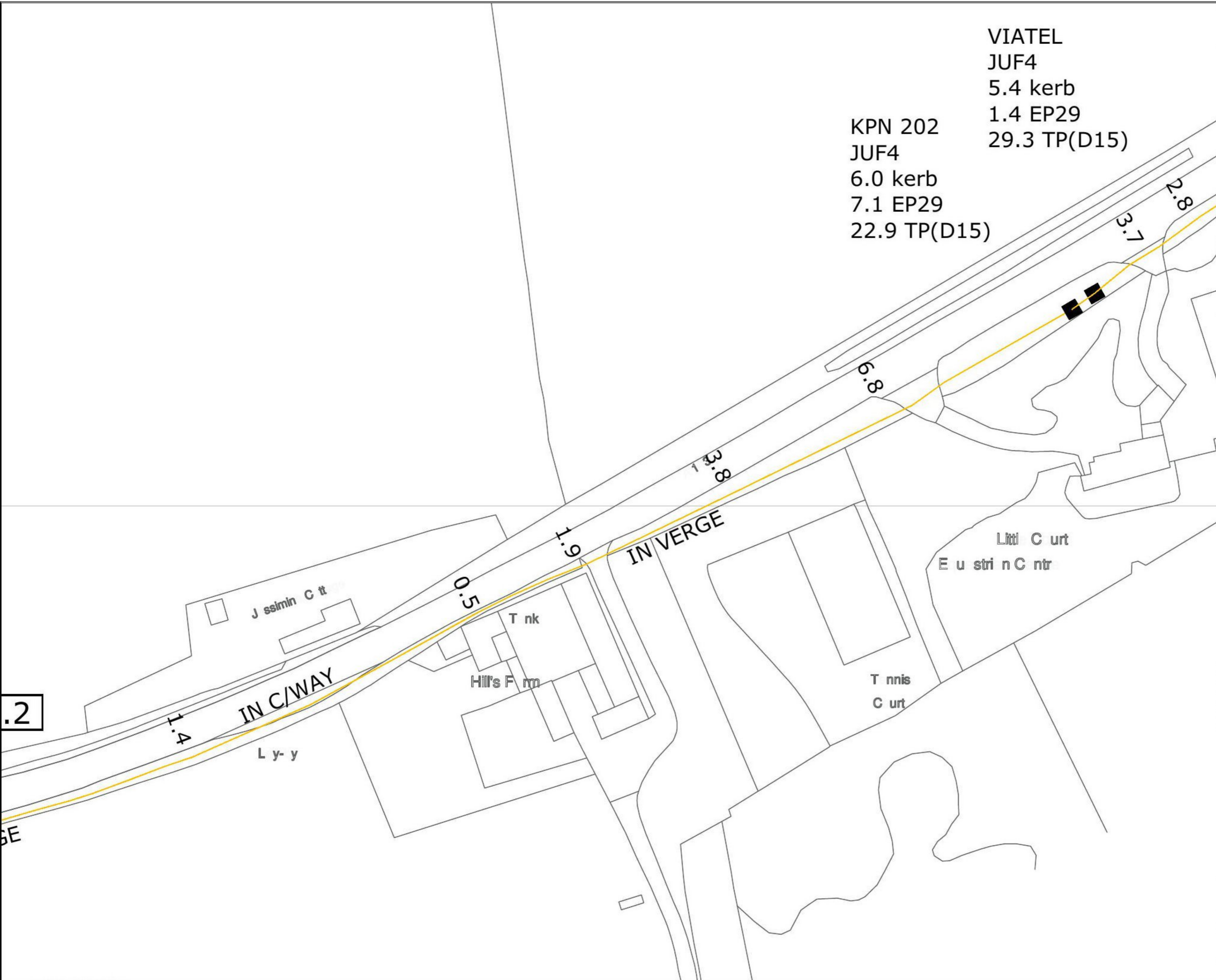
Survey & Planning Fee	£	██████████
Advance Payment received	£	-
Sub Total	£	██████████ (excluding VAT)
Civils Works Value	£	██████████
Sewer Installs Value	£	-
Cable/Fibre Works Value	£	██████████
Sub Total	£	██████████
<b>TOTAL</b>	£	██████████ (excluding VAT)

<b>Possibility of:</b>	<b>Yes / No</b>	<b>If No, State Reason</b>
Deferment of Renewal	No	Not applicable
Betterment	No	Not applicable
Materials Recovered	No	Not applicable

**Note:**

1. The estimate includes for an **upfront survey and planning fee** for a Survey Team and Planners time for attendance to a site meeting, for carrying out the survey of the proposed diversionary route and for building up costs for the C4 Detailed Estimate. If the scope of the works increase and further survey/planning is required following submission of the C4 Estimate further costs will be incurred.
2. This C3 estimate is based on information described within drawing Ref: ZA921-PL-DR-001 Rev P01. It includes for the following civils:  
JSM/Zayo to slew & lower approx 80m of 1Way primary duct in verge & carriageway through area of proposed site access and footpath.
3. Where relevant lines and levels to be provided by Principal Contractor.
4. Traffic Management for Civils works to be provided by JSM and has been costed.
5. Payments should be made to JSM Construction Ltd. Bank Details available on request. **Please quote Tracker Number with all payments.**

The information on this document is proprietary and shall not be used, copied, reproduced or disclosed in whole or in part without written consent of JSM Construction Ltd.  
 All traffic management will be provided in accordance with the Code of Practice for Safety at Street Works and Road Works, the "Red Book" (a copy of which will be available on site), issued under Sections 65 and 124 of the New Roads and Street Works Act 1991 and Chapter 8 of the Traffic Signs Manual.



Issue	Date	Purpose of issue	Checked
1.0	??????		



**JSM Group Ltd**  
 Sterling House  
 Potters Bar  
 Herts, EN6 3AR  
 T: 01992 788 019

Client:

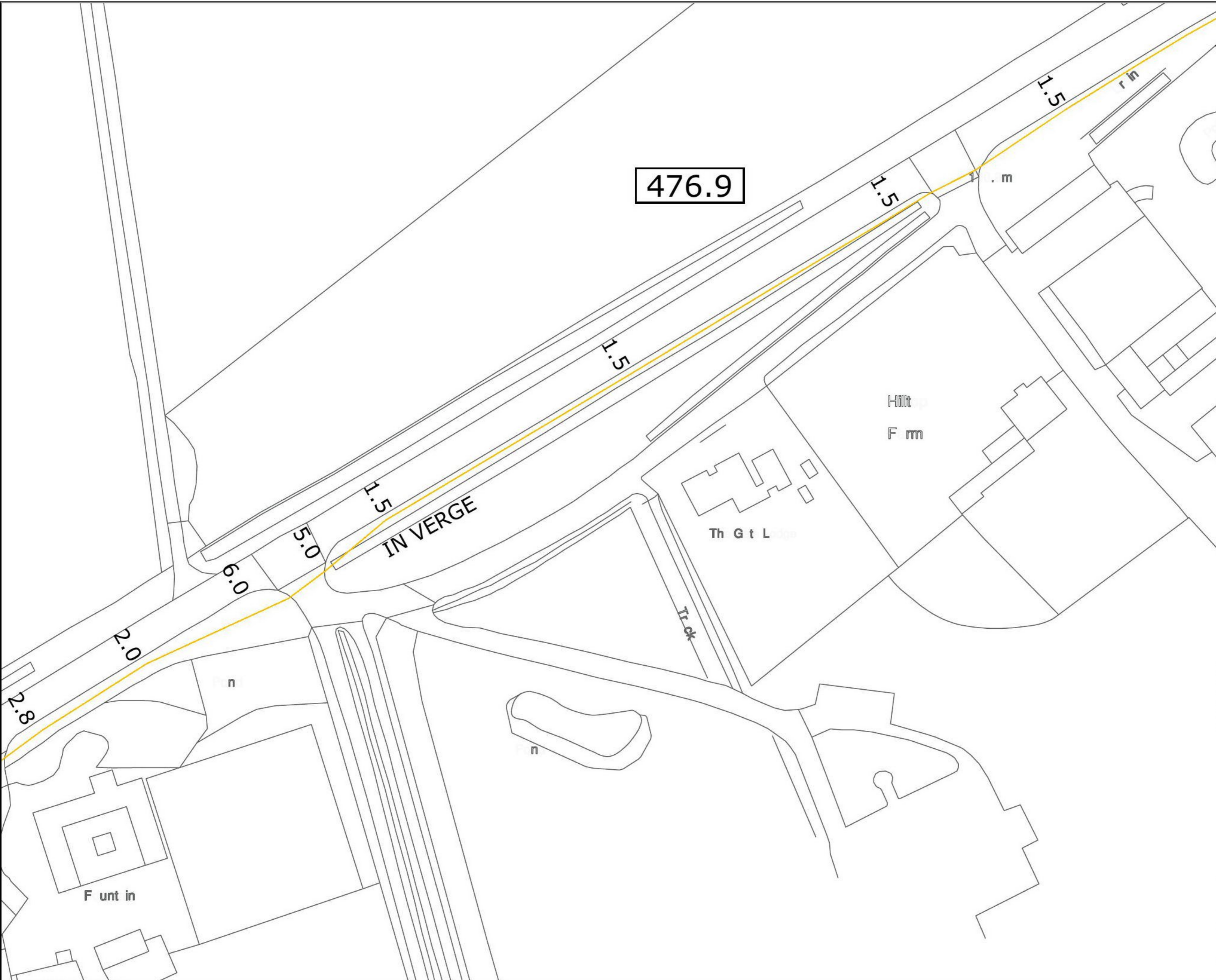
Drawing Title:  
**Haverhill Rd, Little Wrattling**

Drawn: MH	Date: 08/01/2021	Checked: INITIALS	Date: ??????
Job Ref: :-	Scale: :-		



Drawing Number:  
**JSM/DW/ZAYO/21/003 SHEET 1** Issue  
**1.0**

The information on this document is proprietary and shall not be used, copied, reproduced or disclosed in whole or in part without written consent of JSM Construction Ltd.  
 All traffic management will be provided in accordance with the Code of Practice for Safety at Street Works and Road Works, the "Red Book" (a copy of which will be available on site), issued under Sections 65 and 124 of the New Roads and Street Works Act 1991 and Chapter 8 of the Traffic Signs Manual.



476.9

IN VERGE

Th G t L

Hilt  
F m

Tr ck

F unt in

Issue	Date	Purpose of issue	Checked
1.0	??/??/??		



**JSM Group Ltd**  
 Sterling House  
 Potters Bar  
 Herts, EN6 3AR  
 T: 01992 788 019

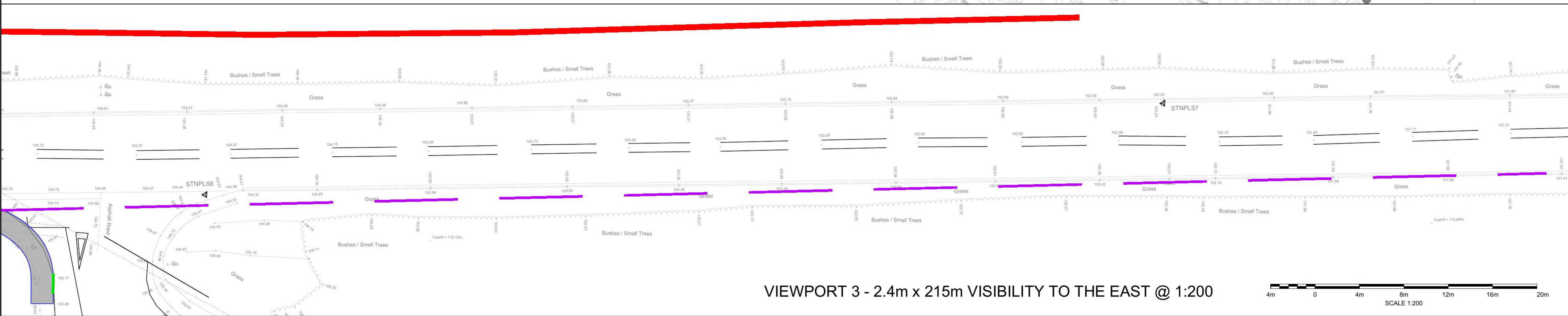
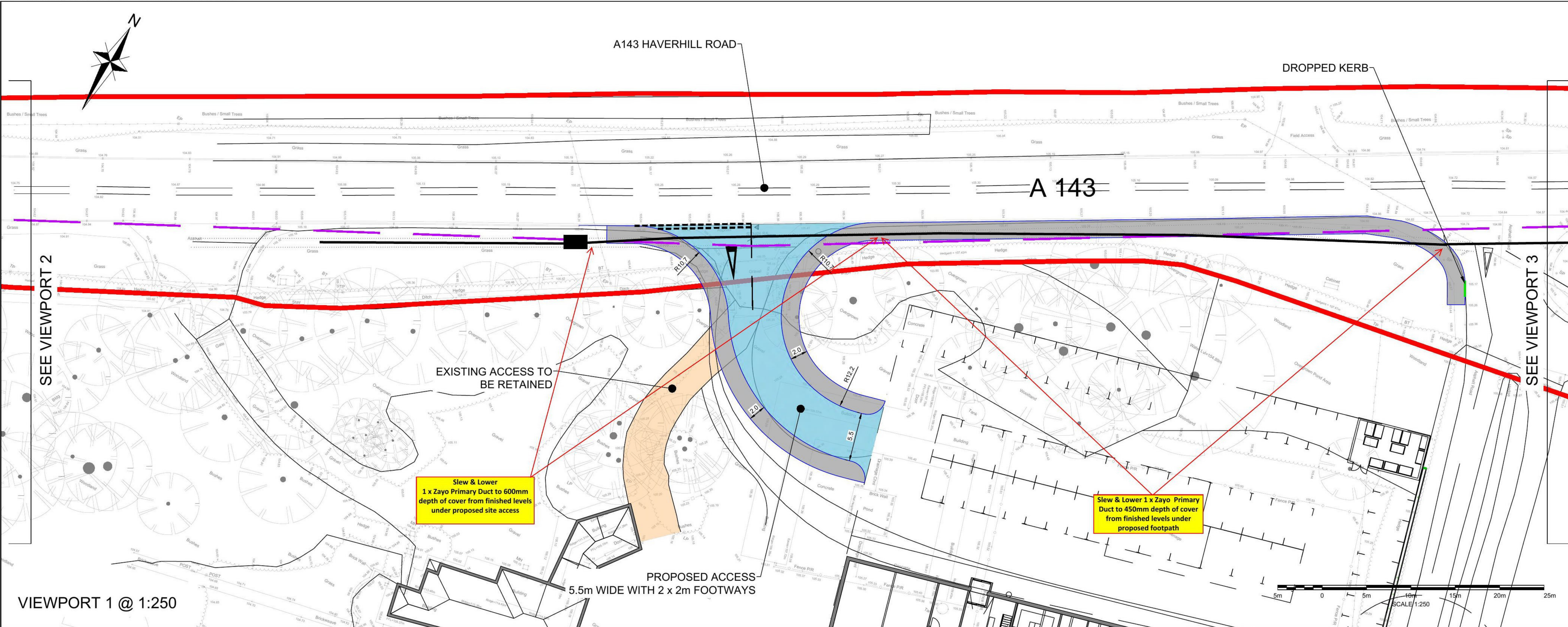
Client:

Drawing Title:  
**Haverhill Rd, Little Wrattling**

Drawn: MH	Date: 08/01/2021	Checked: INITIALS	Date: ??/??/??
Job Ref: :-	Scale: :-		



Drawing Number:  
**JSM/DW/ZAYO/21/003 SHEET 3** Issue  
**1.0**



**KEY**

- VISIBILITY SPLAY (2.4 x 215m)
- HIGHWAY BOUNDARY
- DROPPED KERB

**NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS STATED OTHERWISE.

REV	DESCRIPTION	DE	DR	CH	DATE
DESIGNED BY	DL	DRAWN BY	DL	CHECKED BY	JAM
SCALE @ A1 SIZE	DATE	16/12/20			
PROJECT TITLE					
LITTLE COURT, WRATTING ROAD, HAVERHILL					

DRAWING TITLE  
**PROPOSED ACCESS**

CLIENT  
**CLIENT**

**CANNON**  
CONSULTING ENGINEERS  
Highways, Transport & Infrastructure Planning

Peck House, 20 Eastcheap London, EC3M 1EB  
Tel: 020 7717 5870  
info@cannon.co.uk

Cambridge House, Lanwades Business Park, Kentford, Newmarket, CB8 7PN  
Tel: 01638 555107  
www.cannon.co.uk

DRAWING NUMBER  
**ZA921-PL-DR-001**

REV.  
**P01**

# LEGEND

- EXISTING PLANT
- EXISTING PLANT

<p>Head Office CityFibre Holdings Ltd 15 Bedford Street, London, WC2E 9HE</p> <p>Tel: 0845 293 0774 Web: <a href="http://www.cityfibre.com">www.cityfibre.com</a></p>	<p>Asset Office CityFibre Holdings Ltd, Rutherford House, Birchwood, Warrington, WA3 6ZH</p> <p>Email: <a href="mailto:asset.team@cityfibre.com">asset.team@cityfibre.com</a></p>
---	---

**Disclaimer:**

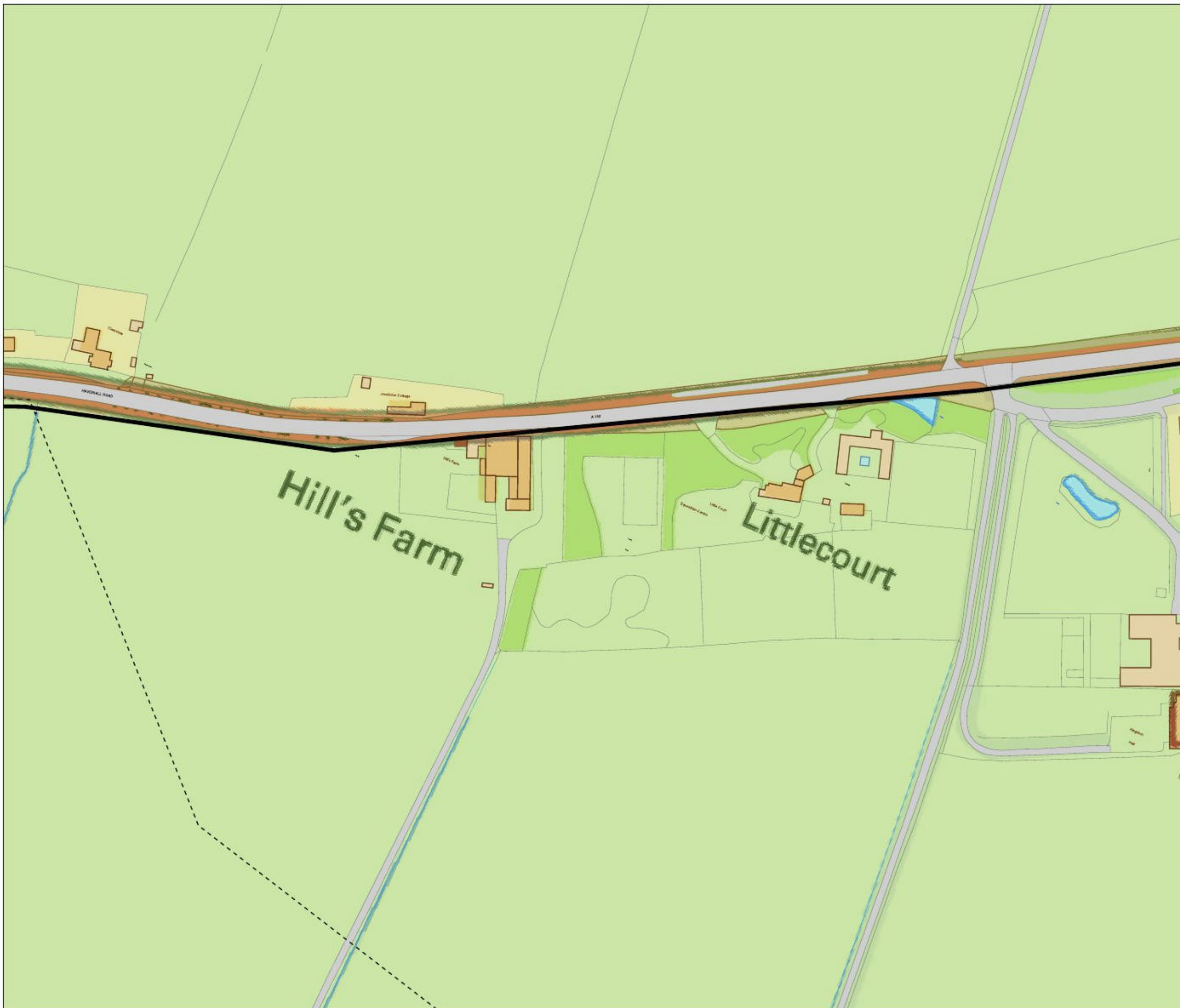
Information shown on this plan is for general guidance only. No warranty is made as to its accuracy. This plan must not be solely relied upon in the event of excavation or other works being carried out in the vicinity of Cityfibre plant. No liability of any kind is accepted by Cityfibre, its agents or servants for any error, omission, discrepancy or deviation. This information is valid for the date printed.

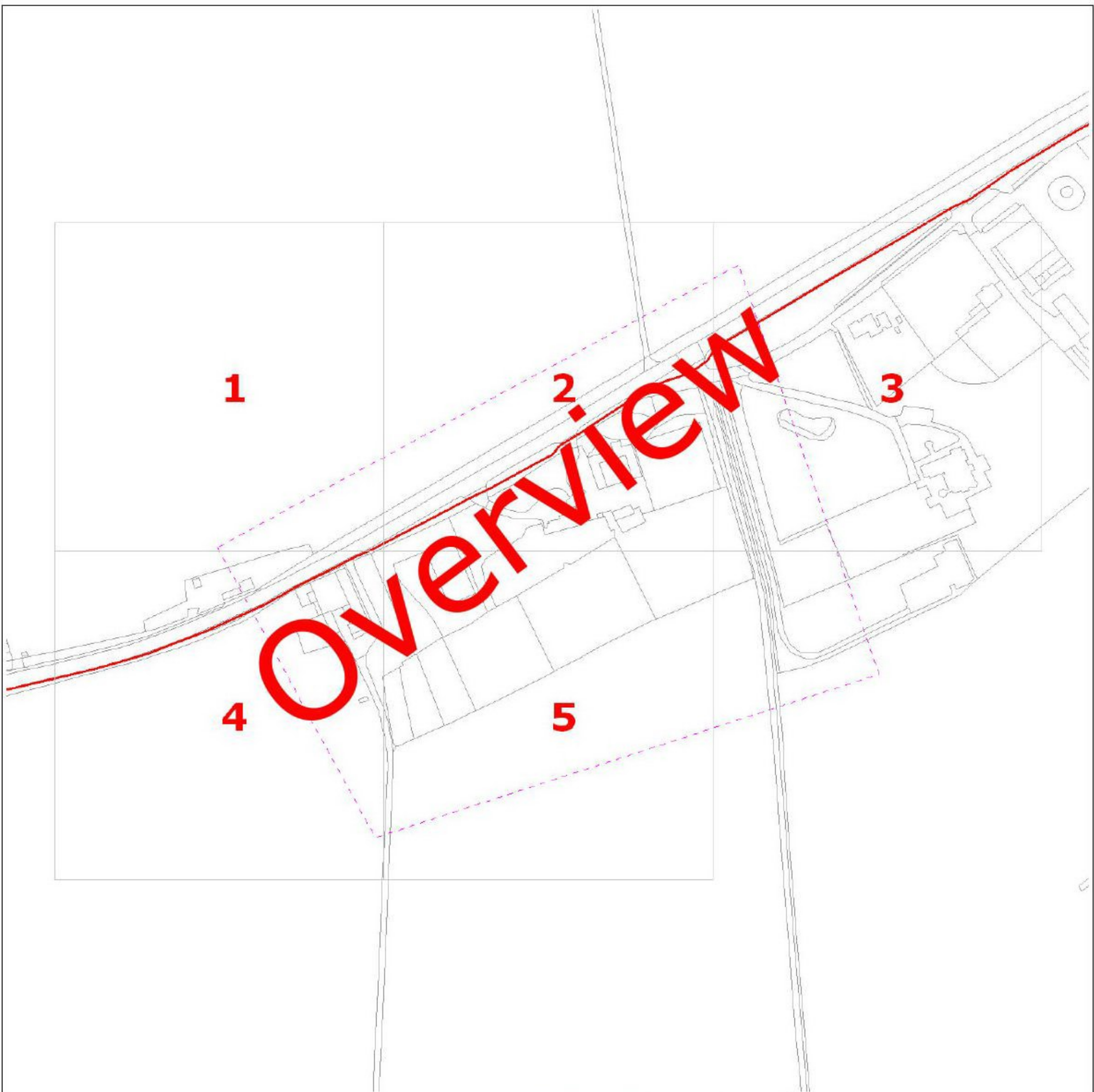
**Project**  
Plant Enquiry

**Drawing**  
Existing Plant






**Drawn by:**  
smallworld Date: 25/11/2020

<b>Drawing No.</b>	<b>Revision</b>
CFH_EP_000001	001





Date Requested: 12/11/2020  
 Requested by: Jenni Askew-Martin  
 Company: Cannon Consulting Engineers  
 Job Reference: 20509130  
 Your Scheme/Reference: ZA921

 ZAYO DUCT  
 or  ZAYO CHAMBER  
 Dig Sites: Line  Area   
 Scale on A4 paper: 1:1000



4th Floor Harmsworth House  
 13-15 Bouverie Street  
 London EC4Y 8DP

The information on this document is proprietary and shall not be used, copied, reproduced or disclosed in whole or in part without written consent of Zayo Group UK Ltd. Approximate location only is shown. To determine exact location a trial hole must be dug with a Zayo Group UK Ltd Supervisor present. Zayo Group UK Ltd and JSM Construction Ltd accept no liability for errors or omissions.



JSM Group Ltd  
 Sterling House  
 Mutton Lane, Potters Bar  
 Hertfordshire, EN6 3AR  
 T: 01992 788 019



Protecting Lives, Cables & Pipes

In Emergency Only and if Zayo Plant or Cables damaged call: 0800 169 1646

Warning: PDF designed for colour print only with no page scaling. This Information is given as a guide only and its accuracy cannot be guaranteed



# Maps by email Plant Information Reply



## IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



**openreach**

### CLICK BEFORE YOU DIG

FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email [cbyd@openreach.co.uk](mailto:cbyd@openreach.co.uk)

ADVANCE NOTICE REQUIRED  
(Office hours: Monday - Friday 08.00 to 17.00)  
[www.openreach.co.uk/cbyd](http://www.openreach.co.uk/cbyd)

### Accidents happen

If you do damage any Openreach equipment please let us know by calling 0800 023 2023 (opt 1 + opt 1) and we can get it fixed ASAP

KEY TO BT SYMBOLS		Change Of State	+	Hatchings	
	<i>Planned</i>	<i>Live</i>	×	Built	
PCP			▲	Planned	
Pole			■	Inferred	
Box			Ⓚ	Duct	
Manhole			Other proposed plant is shown using dashed lines. BT Symbols not listed above may be disregarded. Existing BT Plant may not be recorded. Information valid at time of preparation. Maps are only valid for 90 days after the date of publication.		
Cabinet					
	<i>Pending Add</i>	<i>In Place</i>	<i>Pending Remove</i>	<i>Not In Use</i>	
Power Cable					
Power Duct				N/A	

Reproduced from the Ordnance Survey map by BT by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office  
(C) Crown Copyright British Telecommunications plc 1D0028D40

BT Ref : CEV02049X  
Map Reference : (centre) TL6849946985  
Easting/Northing : (centre) 568499,246985  
Issued : 12/11/2020 15:52:21

**WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: [nnhc@openreach.co.uk](mailto:nnhc@openreach.co.uk)**





(c) Crown copyright and database rights 2020 Ordnance Survey 100019209      Date: 27/11/20      Scale: 1:4021      Map Centre: 568495,246973      Data updated: 01/10/20      Telecoms Plan A4

Important Information - please read The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the "Affected Postcodes.pdf", which can be downloaded from this website. Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan. This plan is produced by Virgin Media Limited (c) Crown copyright and database rights 2020 Ordnance Survey 100019209.

Duct, Trench



Chamber



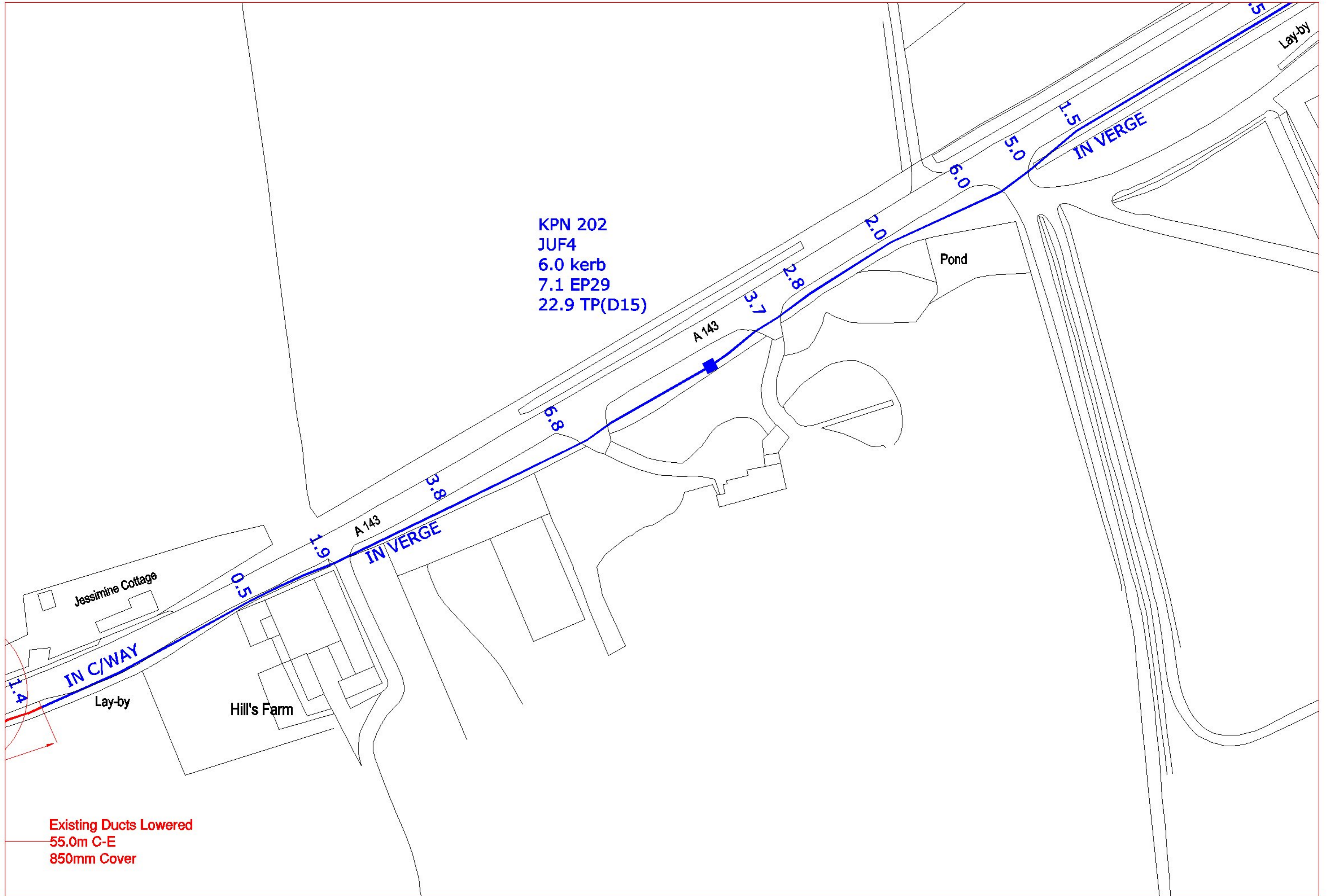
Cabinet



bharath.gowda@virginmedia.co.uk

VM.1179059





KPN 202  
JUF4  
6.0 kerb  
7.1 EP29  
22.9 TP(D15)

Existing Ducts Lowered  
55.0m C-E  
850mm Cover

**Public**

**Date**  
2020-06-10

**Page**  
1 (1)

**Contact**

Telia Carrier  
Infrastructure Team

[check-network@teliacompany.com](mailto:check-network@teliacompany.com)

**Your reference: Land at Haverhill Road, Haverhill, Suffolk**

**Our reference: LPENQ0000124148**

**Dear Sir/Madam,**

**Telia Carrier Line Plant Enquiry.**

Thank you for your correspondence enclosing details of your proposals as per your reference above.

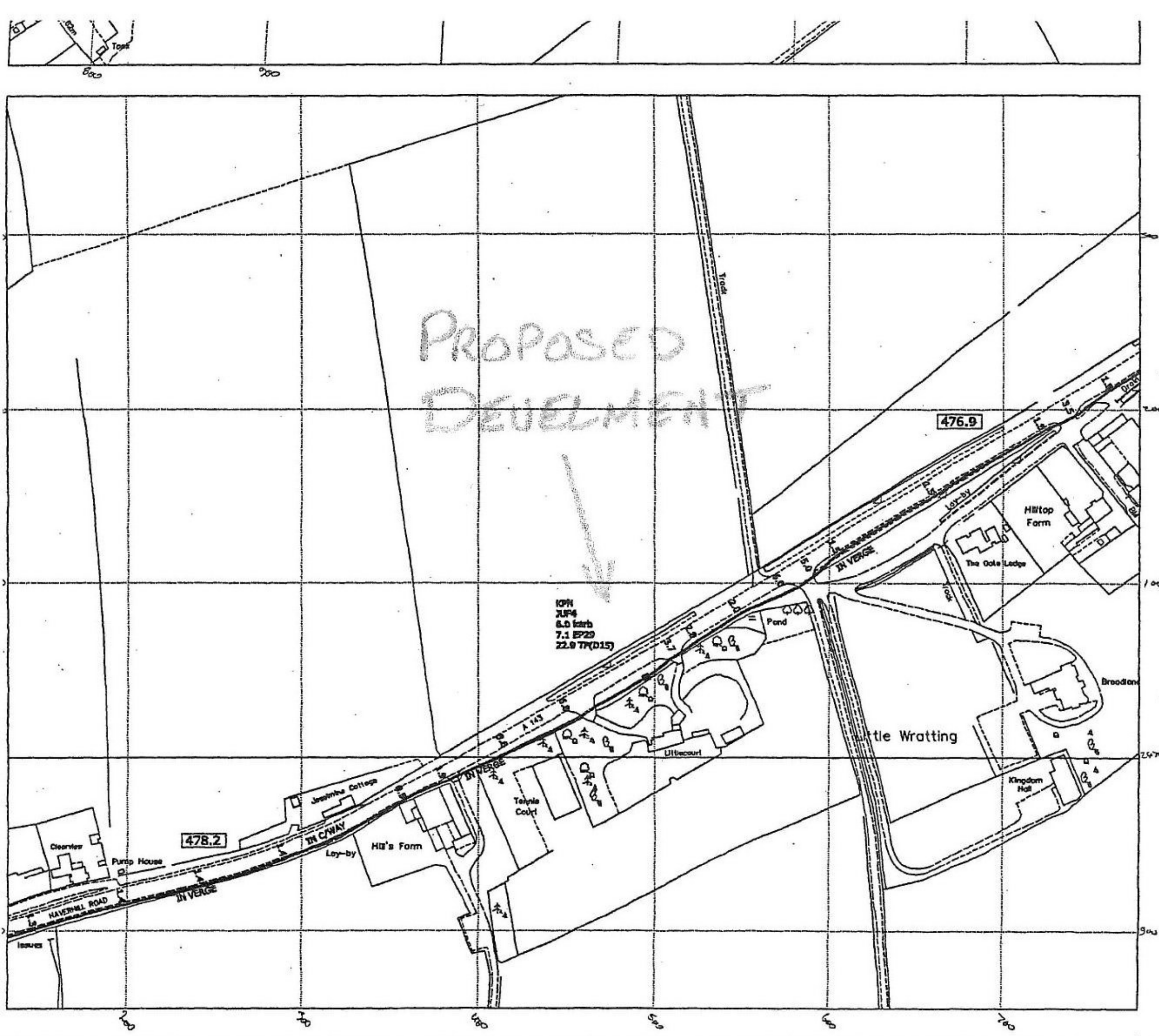
We can confirm that our client's apparatus, Telia Carrier, may be affected by your proposals as indicated on the attached plan. The plan provided is intended for general guidance only and should not be relied upon for excavation and construction purposes. No guarantee is given regarding the accuracy of the information provided.

For all C3 and C4 requests please request these from Telia Carrier's Plant Enquiries e-mail quoting the reference in this letter -

[TCROWEnquiries@telent.com](mailto:TCROWEnquiries@telent.com); CC [robert.hayselden@telent.com](mailto:robert.hayselden@telent.com), [martin.proctor@telent.com](mailto:martin.proctor@telent.com)

Yours faithfully

Telent Technology Services CCO (responding on behalf of Telia Carrier)  
Basildon



nearest kerb/verge (metres).

Distance measured between adjacent boxes (metres).

**380.0**

ABBREVIATIONS

AV	Air Valve	Mkr	Marker
Bdy	Boundary	NCC	Norfolk C
BS	Bus Stop	NP	Name Pt
BTIC	British Telecom Cover	O/H	Overhead
EB	Electricity Box	opp.	opposite
EP	Electricity Pole	PH	Public Hc
FH	Fire Hydrant	RS	Road Sig
Hwy	Highway Boundary	SC	Stop Coc
IC	Inspection Cover	SCC	Suffolk C
KO	Kerb Outlet	TCB	Telephone
LB	Letter Box	TP	Telegraph

© Crown Copyright 1998. This map is based upon the Survey Map and may not be reproduced without permission.

CAUTIONARY NOTES

EVERY EFFORT HAS BEEN MADE TO ACCURATELY POSITION THE LOC UNDERGROUND DUCT. THE RESULTS ARE NOT INFALLIBLE AND TRIAL MUST BE CARRIED OUT TO CONFIRM IDENTIFICATION, LOCATION AND

Client:



TELIA UK LTD

95, Cromwell Road

London, SW7 4DL

Telephone: 0171 416 0306; Fax: 0171 41

Project:

TELIA UK LIMITED TRUNK R  
HAROLD WOOD TO LOWEST

Drawing:

AS-BUILT DRAWINGS



McNICHOLAS COMMUNICATIONS

Liamirra Industrial Park, Eastree Road, Eastree, Herts  
Telephone: 0181 953 4144; Fax: 0181 953 8677  
http://www.mcnicolas.co.uk Email: comm@mcni

CONTRACT NO. 1575 SCALE: 1/20

Drawn: RPAM Approved: AB Date: '02

SHEET NO. 37 DRG NO. 1575/KPN/001

## Jenni Askew-Martin

---

**From:** Harshita K S <Harshitha.KS@atkinsglobal.com>  
**Sent:** 03 December 2020 12:37  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

Please accept this email as confirmation that Vodafone: Fixed **does not** have apparatus within the vicinity of your proposed works detailed below.

Many thanks.

Plant Enquiries Team  
T: +44 (0)1454 662881  
E: [osm.enquiries@atkinsglobal.com](mailto:osm.enquiries@atkinsglobal.com)

**ATKINS** working on behalf of Vodafone: Fixed

This response is made only in respect to electronic communications apparatus forming part of the Vodafone Limited electronic communications network formerly being part of the electronic communications networks of Cable & Wireless UK (now re-named Vodafone Enterprise UK), Energis Communications Limited, Thus Group Holdings Limited and Your Communications Limited.

### **PLEASE NOTE:**

The information given is indicative only. No warranty is made as to its accuracy. This information must not be solely relied upon in the event of excavation or other works carried out in the vicinity of Vodafone plant. No liability of any kind whatsoever is accepted by Vodafone, its servants, or agents, for any error or omission in respect of information contained on this information. The actual position of underground services must be verified and established on site before any mechanical plant is used. Authorities and contractors will be held liable for the full cost of repairs to Vodafone's apparatus and all claims made against them by Third parties as a result of any interference or damage.

### **IMPORTANT - PLEASE READ:-**

Diversions may be necessary if the existing line of the highway/railway or its levels are altered, where apparatus is affected. Where apparatus is affected and requires diversion, you must submit draft details of the proposed scheme with a request for a 'C3 Budget Estimate' to [c3requests@vodafone.com](mailto:c3requests@vodafone.com). These estimates should be provided by Vodafone normally within 20 working days from receipt of your request. Please include proof of this C2 response when requesting a C3 (using the 'forward' option).



Please consider the environment before printing this e-mail

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** 26 November 2020 20:04  
**To:** National Plant Enquiries <OSM.enquiries@atkinsglobal.com>  
**Subject:** Asset Plan Request - Land at Haverhill

Our Ref: JA-M/ZA921/V2020.11.26

Dear Sirs,

**Land at Haverhill Road, Haverhill, Suffolk**  
**Asset Plan Request**

## Jenni Askew-Martin

---

**From:** Ronald Craig <ronald.craig@arqiva.com>  
**Sent:** 25 November 2020 17:24  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

Hi Jenni,

I have managed to get onto Google Earth again now and in tandem with our own records I cannot see that we have any site or land interest in this area, but of course would be interested to know differently if you wanted to advise of give me a call.

thanks

Ronald Craig  
Asset Surveyor  
Terrestrial Broadcast  
Blackhill Service Centre  
Duntilland Road  
Salsburgh  
ML7 4NZ  
07909 535476  
[ronald.craig@arqiva.com](mailto:ronald.craig@arqiva.com)

---

**From:** Ronald Craig  
**Sent:** 25 November 2020 08:52  
**To:** Jenni.AskewMartin@cannonce.co.uk  
**Subject:** FW: Asset Plan Request - Land at Haverhill

Hi Jenni,

I have picked up this query.

Can you give me a call when convenient. As it is I cant see any of our assets in this area showing on our system, but I also don't currently have access to google earth at present (awaiting a software upgrade) as that would aid me more.

regards

Ronald Craig  
Asset Surveyor  
Terrestrial Broadcast  
Blackhill Service Centre  
Duntilland Road  
Salsburgh  
ML7 4NZ  
07909 535476  
[ronald.craig@arqiva.com](mailto:ronald.craig@arqiva.com)

---

**From:** Info & Enquiries  
**Sent:** 12 November 2020 15:33  
**To:** Alexandra Page <[Alexandra.Page@arqiva.com](mailto:Alexandra.Page@arqiva.com)>  
**Subject:** FW: Asset Plan Request - Land at Haverhill

## Jenni Askew-Martin

---

**From:** Plantenquiries <plantenquiries@catelecomuk.com>  
**Sent:** 25 November 2020 16:53  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

**Please Note: Our search criteria has changed. We previously searched for Colt Network which was within 200 metres, this has now changed to 50 metres. The negative response will be for all enquiries that the network is 50 metres or more away from the place of enquiry.**

Dear Sir/Madam,

Thank you for your enquiry for the above reference.

We can confirm that Colt Technology Services do not have apparatus near the above location as presented on your submitted plan, if any development or scheme amendments fall outside the 50 metre perimeter new plans must be submitted for review.

Search is based on Overseeing Organisation Agent data supplied; we do not accept responsibility for O.O. Agent inaccurate data.

If we can be of any further assistance please do not hesitate to contact us.

Kind regards,

## Plant Enquiry Team



**Please consider the environment before printing this email.**

*This e-mail and any files transmitted with it are confidential and are intended solely for the use of the intended recipient(s). If you are not the intended recipient, you must not copy, distribute or take any action based on this communication. If you have received this communication in error please contact [plantenquiries@catelecomuk.com](mailto:plantenquiries@catelecomuk.com) and delete this communication and any copies of it. Any views or opinions presented are solely those of the author and do not necessarily represent those of C A Telecom LTD. C A Telecom LTD monitors e-mails to ensure that its systems operate effectively and to minimise the risk of viruses.*

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** 12 November 2020 14:34  
**To:** Plantenquiries <plantenquiries@catelecomuk.com>  
**Subject:** Asset Plan Request - Land at Haverhill

## Jenni Askew-Martin

---

**From:** TM Plant Enquiries <plantenquiries@trafficmaster.co.uk>  
**Sent:** 25 November 2020 13:36  
**To:** Jenni Askew-Martin  
**Subject:** Re: Asset Plan Request - Land at Haverhill

**Our ref:** Damian Sweeney TEL: 01234759112 or 07712129249

### **New Roads and Street Works Act 1991- Sections 83, 84,142 and 143 Codes of Practice Appendix C2**

In response to your notice regarding works which you, are proposing to undertake.

I can confirm that *Trafficmaster* does not have equipment installed within the boundary of the works.

If you have any further queries regarding this or any other programme, please do not hesitate to contact me on my details below.

Yours sincerely  
For & on Behalf of  
Trafficmaster Ltd

**Infrastructure Maintenance**  
[plantenquiries@trafficmaster.co.uk](mailto:plantenquiries@trafficmaster.co.uk)

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** Thursday, November 12, 2020 2:34 PM  
**To:** TM Plant Enquiries <plantenquiries@trafficmaster.co.uk>  
**Subject:** Asset Plan Request - Land at Haverhill

**CAUTION:** This email originated from outside the company.

Our Ref: JA-M/ZA921/TM2020.11.12

Dear Sirs,

### **Land at Haverhill Road, Haverhill, Suffolk** **Asset Plan Request**

To aid with our investigations of the above site could you please provide records of your assets for the area of interest outlined in red on the enclosed location plan? The site is located around national grid reference 568499, 246985 and has the nearby postcode CB9 7UD.

It would be helpful if you could make us aware of any general or specific easements associated with these cables and any other equipment in the area.

If you have any problems, please do not hesitate to contact me.

Yours faithfully,



## Jenni Askew-Martin

---

**From:** nrswa.uk@engie.com  
**Sent:** 25 November 2020 13:17  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

*To whom it may concern*

*With regard to your request for details of existing services in the specified area;*

*We can confirm that, based on the details provided to us, we have no buried plant or equipment in the identified area.*

Kind regards

Engie  
Urban Energy  
UK & Ireland  
Kings Yard  
5 Clarnico Lane  
Queen Elizabeth Park  
London E15 2HG

Tel. +44 (0) 208 221 6530  
Mob. +44

ENGIE



[engie.co.uk](http://engie.co.uk)

Kings Yard,  
1 Waterden Road,  
Queen Elizabeth Olympic Park  
London E15 2GP - UK

Please consider the environment before printing this message

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** 12 November 2020 14:32  
**To:** NRSWA (ENGIE UK) <nrswa.uk@engie.com>  
**Subject:** Asset Plan Request - Land at Haverhill

**This email originated from outside of the organization. Be careful with hyperlinks and attachments.**

Our Ref: JA-M/ZA921/E2020.11.12

Dear Sirs,

**Land at Haverhill Road, Haverhill, Suffolk**  
**Asset Plan Request**

To aid with our investigations of the above site could you please provide records of your assets for the area of interest outlined in red on the enclosed location plan? The site is located around national grid reference 568499, 246985 and has the nearby postcode CB9 7UD.

It would be helpful if you could make us aware of any general or specific easements associated with these cables and any other equipment in the area.

## Jenni Askew-Martin

---

**From:** SOTA Plant Enquiries <SOTA.PlantEnquiries@instalcom.co.uk>  
**Sent:** 20 November 2020 16:45  
**To:** Jenni Askew-Martin  
**Subject:** RE: S11-20- 2193 Asset Plan Request - Land at Haverhill



Dear Sir or Madam,

With reference to your plant enquiry below, we can confirm that SOTA do not have any apparatus within the immediate proximity of your proposed works.

If you require any further information, please do not hesitate to contact us.

**Please note that this response is only valid for 3 months. If your works do not commence within this time period, please resubmit your plant enquiry for assessment before any works commence.**

Regards

Plant Enquiries Dept.  
Instalcom Limited  
Borehamwood Ind. Park  
Rowley Lane  
Borehamwood  
WD6 5PZ

Office: +44 (0)208 731 4613  
Fax: +44 (0)208 731 4601  
Email: [sota.plantenquiries@instalcom.co.uk](mailto:sota.plantenquiries@instalcom.co.uk)  
Web: <http://www.instalcom.co.uk>



## Jenni Askew-Martin

---

**From:** NRSWA <nrswa.nrswa@sky.uk>  
**Sent:** 13 November 2020 15:05  
**To:** Jenni Askew-Martin  
**Subject:** Asset Plan Request - Land at Haverhill



Thank you for your enquiry.

Please be advised that Sky Telecommunications Services Ltd will not be affected by your proposal.

Best endeavours have been made to ensure accuracy, however if you require further information, please contact us by email at [nrswa@sky.uk](mailto:nrswa@sky.uk).

Regards

NRSWA Department  
Tech UK - Implementation

**sky | TECHNOLOGY**

✉ [nrswa@sky.uk](mailto:nrswa@sky.uk) ☎ +44 20703232234

**Kind Regards,**

**Tabitha Harris**  
NRSWA Administrator  
Tech UK Operations

Please note due to Covid our office is closed, with limited access to post, please send ALL plant enquiries to [NRSWA@sky.uk](mailto:NRSWA@sky.uk)

Please ensure you send a full grid ref and map with your enquiry e.g. **529155, 179741** OR **TQ 29155 79741**

**70 Buckingham Avenue**  
**Slough**  
**SL1 4PN**

## Jenni Askew-Martin

---

**From:** MBNLplantenquiries <mbnl.plant.enquiries@turntown.com>  
**Sent:** 12 November 2020 16:02  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

Dear Sir/Madam

Turner & Townsend Project Management are appointed on behalf of MBNL to conduct Plant (apparatus) Searches in accordance with the relevant NRSWA Act 1991- Diversionary Works legislation. These searches considered plant belonging to EE (T-Mobile and Orange sites) and the HG3 mobile telecommunication networks.

Further to your plant enquiry please see the response below to the NRSWA request submitted

MBNL do not have any plant that would be affected by the proposed work. Should you have any further queries please use the contact details below.

PS: Please can you send all future Plant enquiries for EE or H3G to this email address  
mbnlplantenquiries@turntown.com

Thank you,

Kind regards,

MBNL SHQE Team

Turner & Townsend  
t: 0121 262 3663 | [www.turnerandtowntsend.com](http://www.turnerandtowntsend.com)  
Turner & Townsend Europe Limited  
Registered office: Low Hall, Calverley Lane, Horsforth, Leeds LS18 4GH, United Kingdom | Registered in England and Wales | Registration No: 3514794

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** 12 November 2020 14:27  
**To:** mbnlplantenquiries@turntown.com  
**Subject:** Asset Plan Request - Land at Haverhill

"Don't get caught out" - This email has come from an external source. Do not click on any links or open any attachments unless you are expecting them.

Our Ref: JA-M/ZA921/MBNL2020.11.12

Dear Sirs,

**Land at Haverhill Road, Haverhill, Suffolk**  
**Asset Plan Request**

To aid with our investigations of the above site could you please provide records of your assets for the area of interest outlined in red on the enclosed location plan? The site is located around national grid reference 568499, 246985 and has the nearby postcode CB9 7UD.

It would be helpful if you could make us aware of any general or specific easements associated with these cables and any other equipment in the area.

## Jenni Askew-Martin

---

**From:** Plant Enquiries <plantenquiries@lastmile-uk.com>  
**Sent:** 12 November 2020 14:44  
**To:** Jenni Askew-Martin  
**Subject:** RE: Asset Plan Request - Land at Haverhill

Dear Sir/Madam,

Thank you for submitting your recent plant enquiry.

Based on the information provided, I can confirm that Last Mile **does not** have any plant within the area(s) specified in your request.

If you require further assistance with outstanding enquiries, please call 03300 587 443.

Please ensure all plant enquiries are sent to [plantenquiries@lastmile-uk.com](mailto:plantenquiries@lastmile-uk.com)

Regards

---

**From:** Jenni Askew-Martin <Jenni.AskewMartin@cannonce.co.uk>  
**Sent:** 12 November 2020 14:34  
**To:** Plant Enquiries <plantenquiries@lastmile-uk.com>  
**Subject:** Asset Plan Request - Land at Haverhill

Our Ref: JA-M/ZA921/E2020.11.12

Dear Sirs,

### **Land at Haverhill Road, Haverhill, Suffolk Asset Plan Request**

To aid with our investigations of the above site could you please provide records of your assets for the area of interest outlined in red on the enclosed location plan? The site is located around national grid reference 568499, 246985 and has the nearby postcode CB9 7UD.

It would be helpful if you could make us aware of any general or specific easements associated with these cables and any other equipment in the area.

If you have any problems, please do not hesitate to contact me.

Yours faithfully,

Jenni Askew-Martin  
Senior Technician

Cannon Consulting Engineers | Cambridge House | Lanwades Business Park | Kentford | Newmarket | CB8 7PN  
01638 555 107 |  
[jenni.askewmartin@CannonCE.co.uk](mailto:jenni.askewmartin@CannonCE.co.uk) | [www.CannonCE.co.uk](http://www.CannonCE.co.uk)



## Jenni Askew-Martin

---

**From:** assetrecords@utilityassets.co.uk  
**Sent:** 12 November 2020 14:35  
**To:** Jenni Askew-Martin  
**Subject:** Re: Asset Plan Request - Land at Haverhill

Thank you for recently contacting Utility Assets plant record department. We will check whether we have any plant present at your site and contact you within 5 - 7 working days ONLY if we own any plant in the vicinity.

If we do not reply, we do not have any apparatus in the area of your works. However, PLEASE TAKE CARE when excavating around electricity cables in the event that not all cables present may be accurately shown. We recommend you use detecting equipment to map the site before excavating and fully comply with HSG47. DO NOT assume that a cable is dead if you don't have a record of its presence. The cable must be treated as live unless PROVEN DEAD by the cable owner. In case of emergency please contact your local electricity distribution company.

This is an automated reply from our dedicated asset records email address. If you receive further correspondence from us it will be from [asset.manager@utilityassets.co.uk](mailto:asset.manager@utilityassets.co.uk) quoting a site reference number.

Asset Manager - Utility Assets Ltd

Enquirer			
Name	Mrs Jenni Askew-Martin	Phone	01638555107
Company	Cannon Consulting Engineers	Mobile	Not Supplied
Address	Cambridge House Lanwades Business Park Kentford Suffolk CB8 7PN		
Email	jenni.askewmartin@cannonce.co.uk		

Enquiry Details			
Scheme/Reference	ZA921		
Enquiry type	Initial Enquiry	Work category	Development Projects
Start date	01/12/2020	Work type	Housing
End date	01/12/2021	Site size	70983 metres square
Searched location	XY= 568499, 246985	Work type buffer*	25 metres
Confirmed location	568504 246960		
Site Contact Name	Not Supplied	Site Phone No	Not Supplied
Description of Works			

\* The WORK TYPE BUFFER is a distance added to your search area based on the Work type you have chosen.



## Asset Owners

**Terms and Conditions.** Please note that this enquiry is subject always to our standard terms and conditions available at [www.lineearchbeforeudig.co.uk](http://www.lineearchbeforeudig.co.uk) ("Terms of Use") and the disclaimer at the end of this document. Please note that in the event of any conflict or ambiguity between the terms of this Enquiry Confirmation and the Terms of Use, the Terms of Use shall take precedence.

**Notes.** Please ensure your contact details are correct and up to date on the system in case the LSBUD Members need to contact you.

**Validity and search criteria.** The results of this enquiry are based on the confirmed information you entered and are valid only as at the date of the enquiry. It is your responsibility to ensure that the Enquiry Details are correct, and LineSearchbeforeUdig accepts no responsibility for any errors or omissions in the Enquiry Details or any consequences thereof. LSBUD Members update their asset information on a regular basis so you are advised to consider this when undertaking any works. It is your responsibility to choose the period of time after which you need to resubmit any enquiry but the maximum time (after which your enquiry will no longer be dealt with by the LSBUD Helpdesk and LSBUD Members) is 28 days. If any details of the enquiry change, particularly including, but not limited to, the location of the work, then a further enquiry must be made.

**Asset Owners & Responses.** Please note the enquiry results include the following:

1. "LSBUD Members" who are asset owners who have registered their assets on the LSBUD service.
2. "Non LSBUD Members" are asset owners who have not registered their assets on the LSBUD service but LSBUD is aware of their existence. Please note that there could be other asset owners within your search area.

Below are three lists of asset owners:

1. **LSBUD Members who have assets registered within your search area. ("Affected")**
  - a. **These LSBUD Members will either:**
    - i. **Ask for further information ("Email Additional Info" noted in status).** The additional information includes: Site contact name and number, Location plan, Detailed plan (minimum scale 1:2500), Cross sectional drawings (if available), Work Specification.
    - ii. **Respond directly to you ("Await Response").** In this response they may either send plans directly to you or ask for further information before being able to do so, particularly if any payments or authorisations are required.
2. **LSBUD Members who do not have assets registered within your search area. ("Not Affected")**
3. **Non LSBUD Members who may have assets within your search area.** Please note that this list is not exhaustive and all details are provided as a guide only. It is your responsibility to identify and consult with all asset owners before proceeding.

**National Grid.** Please note that the LSBUD service only contains information on National Grid's Gas above 7 bar asset, all National Grid Electricity Transmission assets and National Grid's Gas Distribution Limited above 2 bar asset.

For National Grid Gas Distribution Ltd below 2 bar asset information please go to [www.beforeyoudig.nationalgrid.com](http://www.beforeyoudig.nationalgrid.com)



**LSBUD Members who have assets registered on the LSBUD service within the vicinity of your search area.**

List of affected LSBUD members			
Asset Owner	Phone/Email	Emergency Only	Status
UK Power Networks	08000565866	08000565866	Await response
Zayo Group UK Ltd c/o JSM Group Ltd	01992 655 919	0800 169 1646	Await response

**LSBUD Members who do not have assets registered on the LSBUD service within the vicinity of your search area. Please be aware that LSBUD Members make regular changes to their assets and this list may vary for new enquiries in the same area.**

List of not affected LSBUD members		
AWE Pipeline	Balfour Beatty Investments Limited	BOC Limited (A Member of the Linde Group)
BP Exploration Operating Company Limited	BPA	Carrington Gas Pipeline
CATS Pipeline c/o Wood Group PSN	Cemex	Centrica Storage Ltd
Chrysaor Production (UK) Limited	CLH Pipeline System Ltd	CNG Services Ltd
Concept Solutions People Ltd	ConocoPhillips (UK) Teesside Operator Ltd	Diamond Transmission Corporation
DIO (MOD Abandoned Pipelines)	DIO (MOD Live Pipelines)	Drax Group
E.ON UK CHP Limited	EirGrid	Electricity North West Limited
ENI & Himor c/o Penspen Ltd	EnQuest NNS Limited	EP Langage Limited
ESP Utilities Group	ESSAR	Esso Petroleum Company Limited
Fulcrum Pipelines Limited	Gamma	Gas Networks Ireland (UK)
Gateshead Energy Company	Gigaclear Ltd	Gtt
Heathrow Airport LTD	Humbly Grove Energy	IGas Energy
INEOS FPS Pipelines	INEOS Manufacturing (Scotland and TSEP)	INOVYN Enterprises Limited
Intergen (Coryton Energy or Spalding Energy)	Jurassic Fibre Ltd	Mainline Pipelines Limited
Manchester Jetline Limited	Manx Cable Company	Marchwood Power Ltd (Gas Pipeline)
Melbourn Solar Limited	Murphy Utility Assets	National Grid Gas (Above 7 bar), National Grid Gas Distribution Limited (Above 2 bar) and National Grid Electricity Transmission
Northumbrian Water Group	NPower CHP Pipelines	NYnet Ltd
Oikos Storage Limited	Ørsted	Perenco UK Limited (Purbeck Southampton Pipeline)
Petroineos	Phillips 66	Portsmouth Water
Premier Transmission Ltd (SNIP)	Redundant Pipelines - LPDA	RWE - Great Yarmouth Pipeline (Bacton to Great Yarmouth Power Station)
RWEnpower (Little Barford and South Haven)	SABIC UK Petrochemicals	Scottish and Southern Electricity Networks
Scottish Power Generation	Seabank Power Ltd	SES Water
SGN	Shell	Shell NOP
SSE Enterprise Telecoms	SSE Generation Ltd	SSE Utility Solutions Limited
Tata Communications (c/o JSM Construction Ltd)	Total (Colnbrook & Colwick Pipelines)	Total Finaline Pipelines
Transmission Capital	Uniper UK Ltd	University of Cambridge Granta Backbone Network

Vattenfall

Veolia ES SELCHP Limited

Veolia ES Sheffield Ltd

Wales and West Utilities

West of Duddon Sands Transmission Ltd

Western Power Distribution

Westminster City Council

The following Non-LSBUD Members may have assets in your search area. It is YOUR RESPONSIBILITY to contact them before proceeding. Please be aware this list is not exhaustive and it is your responsibility to identify and contact all asset owners within your search area.

Non-LSBUD members (Asset owners not registered on LSBUD)			
Asset Owner	Preferred contact method	Phone	Status
Anglian Water	<a href="http://www.digdat.co.uk">http://www.digdat.co.uk</a>	01480323891	Not Notified
BT	<a href="https://www.swns.bt.com/pls/mbe/welcome.home">https://www.swns.bt.com/pls/mbe/welcome.home</a>	08000232023	Not Notified
Cadent Gas	<a href="mailto:plantprotection@cadentgas.com">plantprotection@cadentgas.com</a>	0800688588	Not Notified
CenturyLink Communications UK Limited	<a href="mailto:plantenquiries@instalcom.co.uk">plantenquiries@instalcom.co.uk</a>	02087314613	Not Notified
CityFibre	<a href="mailto:asset.team@cityfibre.com">asset.team@cityfibre.com</a>	033 3150 7282	Not Notified
Colt	<a href="mailto:plantenquiries@catelecomuk.com">plantenquiries@catelecomuk.com</a>	01227768427	Not Notified
Energetics Electricity	<a href="mailto:plantenquiries@lastmile-uk.com">plantenquiries@lastmile-uk.com</a>	01698404646	Not Notified
ENGIE	<a href="mailto:nrswa.uk@engie.com">nrswa.uk@engie.com</a>	01293 549944	Not Notified
GTC	<a href="https://pe.gtc-uk.co.uk/PlantEnqMembership">https://pe.gtc-uk.co.uk/PlantEnqMembership</a>	01359240363	Not Notified
KPN (c/-Instalcom)	<a href="mailto:kpn.plantenquiries@instalcom.co.uk">kpn.plantenquiries@instalcom.co.uk</a>	n/a	Not Notified
Mobile Broadband Network Limited	<a href="mailto:mbnlplantenquiries@turntown.com">mbnlplantenquiries@turntown.com</a>	01212 621 100	Not Notified
Sky UK Limited	<a href="mailto:nrswa@sky.uk">nrswa@sky.uk</a>	02070323234	Not Notified
Sota	<a href="mailto:SOTA.plantenquiries@instalcom.co.uk">SOTA.plantenquiries@instalcom.co.uk</a>		Not Notified
Teliasonera	<a href="mailto:check-network@teliacompany.com">check-network@teliacompany.com</a>	0800526015	Not Notified
Utility assets Ltd	<a href="mailto:assetrecords@utilityassets.co.uk">assetrecords@utilityassets.co.uk</a>		Not Notified
Verizon Business	<a href="mailto:osp-team@uk.verizonbusiness.com">osp-team@uk.verizonbusiness.com</a>	01293611736	Not Notified
Virgin Media	<a href="http://www.digdat.co.uk">http://www.digdat.co.uk</a>	08708883116	Not Notified
Vodafone	<a href="mailto:osm.enquiries@atkinglobal.com">osm.enquiries@atkinglobal.com</a>	01454662881	Not Notified

**Disclaimer**

Please refer to LineSearchbeforeUdig's Terms of Use for full terms of use available at [www.lineSearchbeforeUdig.co.uk](http://www.lineSearchbeforeUdig.co.uk)

The results of this Enquiry are personal to the Enquirer and shall not be shared with or relied upon by any other party. The asset information on which the Enquiry results are based has been provided by LSBUD Members, therefore LineSearchbeforeUdig will provide no guarantee that such information is accurate or reliable nor does it monitor such asset information for accuracy and reliability going forward. There may also be asset owners which do not participate in the enquiry service operated by LineSearchbeforeUdig, including but not exclusively those set out above. Therefore, LineSearchbeforeUdig cannot make any representation or give any guarantee or warranty as to the completeness of the information contained in the enquiry results or accept any responsibility for the accuracy of the mapping images used. LineSearchbeforeUdig and its employees, agents and consultants accept no liability (save that nothing in this Enquiry Confirmation excludes or limits our liability for death or personal injury arising from our negligence, or our fraud or fraudulent misrepresentation, or any other liability that cannot be excluded or limited by English law) arising in respect thereof or in any other way for errors or omissions including responsibility to any person by reason of negligence.



# Pre-Planning Assessment Report

Land at Haverhill

InFlow Reference: PPE-0109673

Assessment Type: Water & Used Water

Report published: 11/12/2020



Thank you for submitting a pre-planning enquiry.

This has been produced for Cannon Consulting Engineers.

Your reference number is **PPE-0109673**.

This report can be submitted as a drainage strategy for the development should it seek planning permission.

If you have any questions upon receipt of this report, you can submit a further question via InFlow. Alternatively, please contact the Planning & Capacity team on **0345 60 66 087**, Option 1 or email [planningliaison@anglianwater.co.uk](mailto:planningliaison@anglianwater.co.uk)

## Section 1 - Proposed development

The response within this report has been based on the following information which was submitted as part of your application:

List of planned developments	
Type of development	No. Of units
Dwellings	136

The anticipated residential build rate is:

Year	Y1	Y2	Y3
Build rate	50	50	36

**Development type:** Greenfield  
**Planning application status:** Unknown  
**Site grid reference number:** TL6855047010

The comments contained within this report relate to the public water mains and sewers indicated on our records. Your attention is drawn to the disclaimer in the useful information section of this report.

## Section 2 - Assets affected

Our records indicate that we have the following types of assets within or overlapping the boundary of your development site as listed in the table below.

Additionally, it is highly recommended that you carry out a thorough investigation of your proposed working area to establish whether any unmapped public or private sewers and lateral drains are in existence. We are unable to permit development either over or within the easement strip without our prior consent. The extent of the easement is provided in the table below. Please be aware that the existing water mains/public sewers should be located in highway or open space and not in private gardens. This is to ensure available access for any future maintenance and repair and this should be taken into consideration when planning your site layout.

Water and Used water easement information		
Asset type	Pipe size (mm)	Total easement required (m)
Water mains	75	4.50 m either side of the centre line

If it is not possible to avoid our assets then these may need to be diverted in accordance with Section 185 of the Water Industry Act (1991). You will need to make a formal application if you would like a diversion to be considered.

Due to the private sewer transfer in October 2011 many newly adopted public used water assets and their history are not indicated on our records. You also need to be aware that your development site may contain private water mains, drains or other assets not shown on our records. These are private assets and not the responsibility of Anglian Water but that of the landowner.

### Section 3 - Water supply

In examining the available capacity for your development site we assess the capacity and costs for two categories of water main. These are:

#### Strategic

These are the offsite potable water mains which deliver water within an area to a large number of development sites often across a number of towns. The strategic provision of these water mains enables us to provide of the cheapest solution across a large geographical area.

#### Local reinforcement

These are localised reinforcement mains to enable us to provide water to your development site. On most sites we also have two categories of water mains the Spine Mains and Housing Estate Mains (HEMs). To support your budgeting arrangements we have also examined the estimated cost for delivering the onsite water mains needed for a site of your size.

#### Water supply network

The model suggests that the existing 3" AC main grid ref: TL6857447097 does not have sufficient capacity to supply the requested demand without offsite works. The development can be supplied from the existing 355mm HPPE main grid ref: TL6854847107. A 125mm main has been modelled for the development, with 136 no standard 25mm connections assumed from this. Anglian Water cannot reserve capacity and therefore you are recommended to formally apply for a connection at your earliest convenience. Please note that available capacity in our network can be reduced at any time due to increased requirements from existing businesses and houses as well as from new housing and new commercial developments.

#### Connection point(s)

Connection Point	Address	National Grid Reference (NGR)
CP-3643	Haverhill Road, Little Wratting	TL6854847107

#### Water infrastructure and costs

Your development site will be required to pay an **infrastructure charge** for each new property connecting to the public sewer that benefits from Full planning permission.

You will be required to pay an infrastructure charge upon connection for each new plot on your development site. The infrastructure charge are types of charges set out in Section 146(2) of the Water Industry Act 1991

The charge should be paid by anyone who wishes to build or develop a property and is payable upon request of connection.

Payment of the infrastructure charge must be made before premises are connected to the public sewer.

Infrastructure charge for water	
Anglian Water supply	£ 340.00

The **infrastructure discount** is a new element, introduced to reflect the changes in Ofwat's charging rules from April 2020.

The discount is £400.00 for each connection to the water supply network in the Anglian Water area.

Due to the changes in the charging rules, any discount must now be applied to the infrastructure charge rather than the requisition charge. This has provided us the opportunity to offer the discount (via the infrastructure charge) not just to water main requisitioners, but to those seeking water connections too.

Infrastructure charges are raised on a standard basis of one charge per new connection (one for water and one for sewerage). However, if the new connection is to non-household premises, the Infrastructure charges is calculated according to the number and type of water fittings in the premises. This is called the "relevant multiplier" method of calculating the charge.

Details of the relevant multiplier for each fitting can be found at our [website](#).

**The Water Infrastructure charge for your dwellings is:**

Infrastructure charge	Number of units	Total
[REDACTED]	136	[REDACTED]

**The Infrastructure discount for your dwellings is:**

Infrastructure discount	Number of units	Total
[REDACTED]	136	[REDACTED]

**The estimated cost for the onsite water main for your development is:**

Onsite water main	£
Estimated cost of delivery	[REDACTED]

Please note, a detailed cost breakdown will be provided on receipt of a formal application for a new water main.

Alternatively, you may wish to have the onsite main delivered by a Self-lay Provider under terms set out in a self-lay agreement.

For more information on water mains and self-lay of water mains, please visit our [website](#)

**Section 4 - Water recycling services**

In examining the used water system we assess the ability for your site to connect to the public sewerage network without causing a detriment to the operation of the system. We also assess the receiving water recycling centre and determine whether the water recycling centre can cope with the increased flow and effluent quality arising from your development.

**Water recycling centre**

The foul drainage from the proposed development is in the catchment of Kedington Water Recycling Centre, which currently has capacity to treat the flows from your development site. Anglian Water cannot reserve capacity and the available capacity at the water recycling centre can be reduced at any time due to growth, environmental and regulation driven changes.

**Used water network**

Our assessment has been based on development flows connecting to the nearest foul water sewer of the same size or greater pipe diameter to that required to drain the site. The infrastructure to convey foul water flows to the receiving sewerage network is assumed to be the responsibility of the developer. Conveyance to the connection point is considered as Onsite Work and includes all work carried out upstream from of the point of connection, including making the connection to our existing network. This connection point has been determined in reference to the calculated discharge flow and on this basis, a 150mm internal diameter pipe is required to drain the development site. The nearest practicable connection is to the 150mm diameter sewer at manhole 4001 in Haverhill Road at National Grid Reference NGR TL 68441 47034 . Anglian water has assessed the impact of gravity flows from the planned development to the public foul sewerage network. We can confirm that this is acceptable as the foul sewerage system, at present, has available capacity for your site. Please note that Anglian Water will request a suitably worded condition at planning application stage to ensure this strategy is implemented to mitigate the risk of flooding.

It is assumed that the developer will provide the necessary infrastructure to convey flows from the site to the network. Consequently, this report does not include any costs for the conveyance of flows.

#### Surface water disposal

You indicated on the Pre-Planning Application form that a connection to the public surface water sewer network is not required. Therefore a capacity assessment has not been made on the public surface water network.

As you may be aware, Anglian Water will consider the adoption of SuDs provided that they meet the criteria outline in our SuDs adoption manual. This can be found on our [website](#). We will adopt features located in public open space that are designed and constructed, in conjunction with the Local Authority and Lead Local Flood Authority (LLFA), to the criteria within our SuDs adoption manual. Specifically, developers must be able to demonstrate:

1. Effective upstream source control,
2. Effective exceedance design, and
3. Effective maintenance schedule demonstrating that the assets can be maintained both now and in the future with adequate access.

If you wish to look at the adoption of any SuDs then an expression of interest form can be found on our [website](#)

As the proposed method of surface water disposal is not relevant to Anglian Water; we suggest that you contact the relevant Local Authority, Lead Local Flood Authority, the Environment Agency or the Internal Drainage Board, as appropriate.

#### Trade Effluent

We note that you do not have any trade effluent requirements. Should this be required in the future you will need our written formal consent. This is in accordance with Section 118 of the Water Industry Act (1991).

#### Used Water Budget Costs

Your development site will be required to pay an infrastructure charge for each new property connecting to the public sewer that benefits from Full planning permission.

You will be required to pay an infrastructure charge upon connection for each new plot on your development site. The infrastructure charge are types of charges set out in Section 146(2) of the Water Industry Act 1991

The charge should be paid by anyone who wishes to build or develop a property and is payable upon request of connection.

Payment of the infrastructure charge must be made before premises are connected to the public sewer.

Infrastructure charge for water recycling:	
--	--

#### The Water Recycling Infrastructure charge for your dwellings is:

Infrastructure charge	Number of units	Total
	136	

Infrastructure charges are raised on a standard basis of one charge per new connection (one for water and one for sewerage). However, if the new connection is to non- household premises, the fixed element is calculated according to the number and type of water fittings in the premises. This is called the "relevant multiplier" method of calculating the charge.

Details of the relevant multiplier for each fitting can be found at our [website](#).

It has been assumed that the onsite used water network will be provided under Section 104 of the Water Industry Act

It is recommended that you also budget for connection costs.

Please note that we offer alternative types of connections depending on your needs and these costs are available at our [website](#).



## Section 5 - Map of Proposed Connection Points



Figure 1: Showing your water point of connection



Figure 2: Showing your used water point of connection

## Section 6 - Useful information

### Water Industry Act – Key water sections

#### Section 41:

This provides you with the right to requisition a new water main for domestic purposes to connect your site to the public water network.

#### Section 45:

This provides you with the right to have a connection for domestic purposes from a building or part of a building to the public water main.

#### Section 51A - E:

This provides you with the right to provide the water main or service connection yourself and for us to vest them into our company.

#### Section 55:

This applies where you request a supply of water for non-domestic purposes.

#### Section 185:

This provides you with the right to make a reasonable request to have a public water main, sewer or public lateral drain removed or altered, at your expense.

Details on how you can make a formal application for a new water main, new connection or diversion are available on from our Development Services team on **0345 60 66 087** or via our [website](#)

If you have any other queries on the rights to requisition or connect your housing to the public water and sewerage infrastructure then please contact our Development Services team at:

Anglian Water  
PO Box 495  
Huntingdon  
PE29 6YY

Telephone: 0345 60 66 087

Email: [developmentsservices@anglianwater.co.uk](mailto:developmentsservices@anglianwater.co.uk)

#### **Water pressure and flow rate**

The water pressure and consistency that we must meet for your site is laid out in the Water Industry Act (1991). This states that we must supply a flow rate of 9 litres per minute at a pressure of 10 metres of head to the external stop tap. If your water pressure requirements exceed this then you will need to provide and maintain any booster requirements to the development site.

#### **Self-lay of water mains**

A list of accredited self-lay provider organisations can be found on the Lloyds Registrar [website](#)

#### **Water Industry Act – Key used water sections**

##### **Section 98:**

This provides you with the right to requisition a new public sewer. The new public sewer can be constructed by Anglian Water on your behalf. Alternatively, you can construct the sewer yourself under section 30 of the Anglian Water Authority Act 1977.

##### **Section 102:**

This provides you with the right to have an existing sewerage asset vested by us. It is your responsibility to bring the infrastructure to an adoptable condition ahead of the asset being vested.

##### **Section 104:**

This provides you with the right to have a design technically vetted and an agreement reached that will see us adopt your assets following their satisfactory construction and connection to the public sewer.

##### **Section 106:**

This provides you with the right to have your constructed sewer connected to the public sewer.

##### **Section 185**

This provides you with the right to have a public sewerage asset diverted.

Details on how to make a formal application for a new sewer, new connection or diversion are available on our [website](#) or via our Development Services team on **0345 60 66 087**.

#### **Sustainable drainage systems**

Many existing urban drainage systems can cause problems of flooding, pollution or damage to the environment and are not resilient to climate change in the long term. .

Our preferred method of surface water disposal is through the use of Sustainable Drainage Systems or SuDS.

SuDS are a range of techniques that aim to mimic the way surface water drains in natural systems within urban areas. For more information on SuDS, please visit our [website](#)

We recommend that you contact the Local Authority and Lead Local Flood Authority (LLFA) for your site to discuss your application.

#### **Private sewer transfers**

Sewers and lateral drains connected to the public sewer on the 1 July 2011 transferred into Water Company ownership on the 1 October 2011. This follows the implementation of the Floods and Water Management Act (FWMA). This included sewers and lateral drains that were subject to an existing Section 104 Adoption Agreement and those that were not. There were exemptions and the main non-transferable assets were as follows:

Surface water sewers and lateral drains that do not discharge to the public sewer, e.g. those that discharged to a watercourse.

Foul sewers and lateral drains that discharged to a privately owned sewage treatment/collection facility.

Pumping stations and rising mains will transfer between 1 October 2011 and 1 October 2016.

The implementation of Section 42 of the FWMA will ensure that future private sewers will not be created. It is anticipated that all new sewer applications will need to have an approved section 104 application ahead of a section 106 connection.

It is anticipated that all new sewer applications will need to have an approved Section 104 application ahead of a Section 106 connection

#### **Encroachment**

Anglian Water operates a risk based approach to development encroaching close to our used water infrastructure. We assess the issue of encroachment if you are planning to build within 400 metres of a water recycling centre or, within 15 metres to 100 metres of a pumping station. We have more information available on our [website](#)

#### **Locating our assets**

Maps detailing the location of our water and used water infrastructure including both underground assets and above ground assets such as pumping stations and recycling centres are available from [digdat](#)

All requests from members of the public or non-statutory bodies for maps showing the location of our assets will be subject to an appropriate administrative charge.

We have more information on our [website](#)

#### **Charging arrangements**

Our charging arrangements and summary for this year's water and used water connection and infrastructure charges can be found on our [website](#)

#### **Section 7 - Disclaimer**

The information provided in this report is based on data currently held by Anglian Water Services Limited ('Anglian Water') or provided by a third party. Accordingly, the information in this report is provided with no guarantee of accuracy, timeliness, completeness and is without indemnity or warranty of any kind (express or implied).

This report should not be considered in isolation and does not nullify the need for the enquirer to make additional appropriate searches, inspections and enquiries. Anglian Water supports the plan led approach to sustainable development that is set out in the National Planning Policy Framework ('NPPF') and any infrastructure needs identified in this report must be considered in the context of current, adopted and/or emerging local plans. Where local plans are absent, silent or have expired these needs should be considered against the definition of sustainability holistically as set out in the NPPF.

Whilst the information in this report is based on the presumption that proposed development obtains planning permission, nothing in this report confirms that planning permission will be granted or that Anglian Water will be bound to carry out the works/proposals contained within this report.

No liability whatsoever, including liability for negligence is accepted by Anglian Water or its partners, employees or agents, for any error or omission, or for the results obtained from the use of this report and/or its content. Furthermore, in no event will any of those parties be liable to the applicant or any third party for any decision made or action taken as a result of reliance on this report.

**This report is valid for the date printed and the enquirer is advised to resubmit their request for an up to date report should there be a delay in submitting any subsequent application for water supply/sewer connection(s).**

InFlow reference: PPE-0109673

Water Connection point: to the existing 355mm water main in Haverhill Road



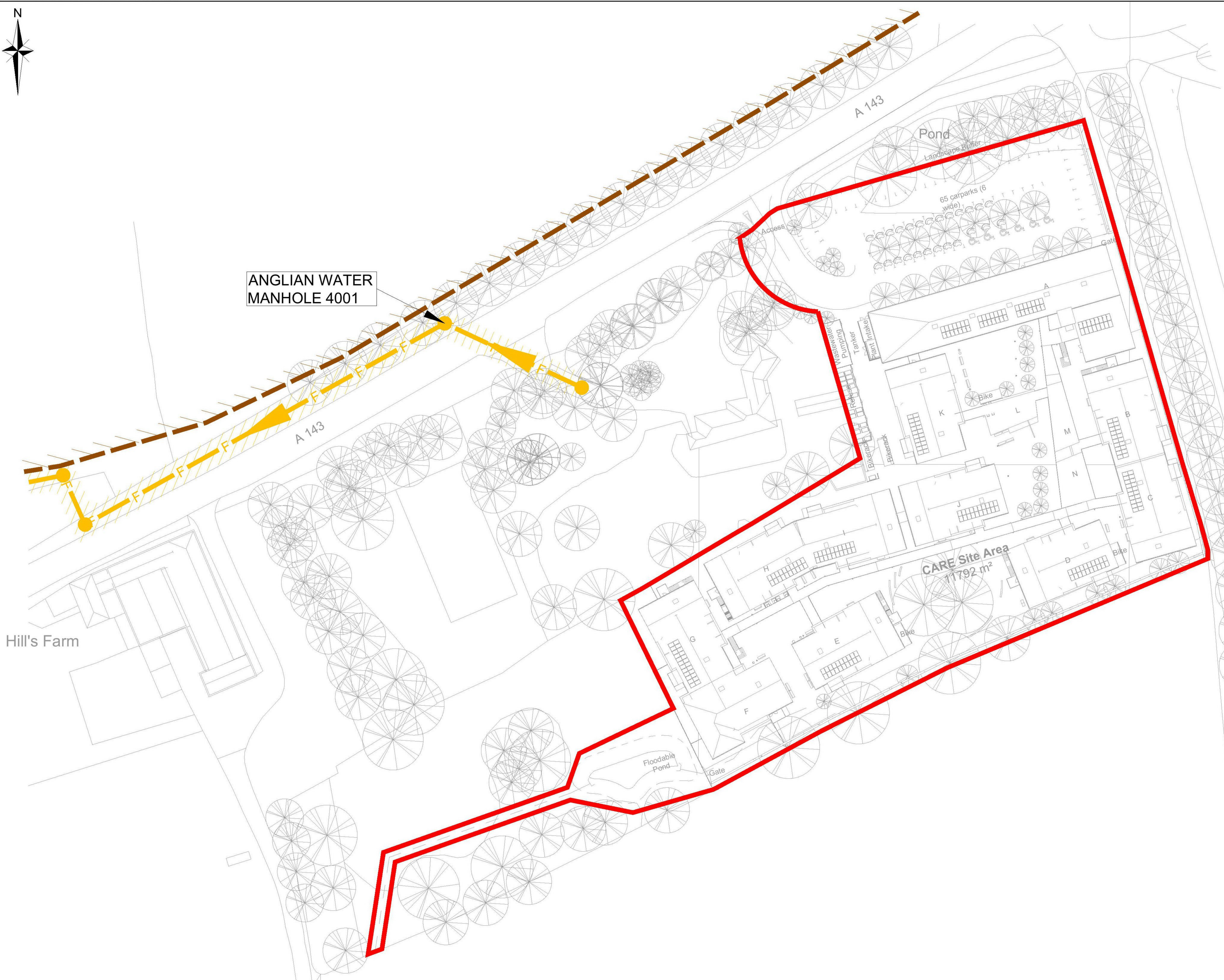
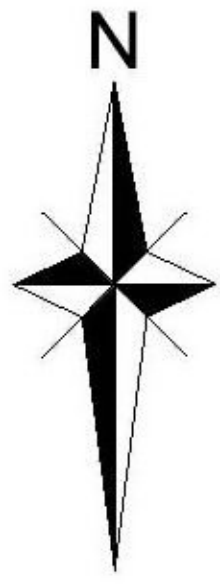
@ Crown Copyright 2014. All rights reserved.  
Ordnance Survey License Number 100022432

InFlow reference: PPE-0109673 Used Water Connection point: to the 150mm diameter sewer at manhole 4001 in Haverhill Road



@ Crown Copyright 2014. All rights reserved.  
Ordnance Survey License Number 100022432

## Appendix D – Proposed Point-of-Connection Plan



**KEY**

	SITE AREA
	ANGLIAN WATER FOUL WATER SEWER WITH ASSOCIATED 6m EASEMENT
	ANGLIAN WATER RISING MAIN

**NOTES**

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. The actual position of the services must be verified and established on site before any work is undertaken.

Reproduced from Promap by permission of Ordnance Survey® on behalf of The Controller of Her Majesty's Stationery Office. ©Crown copyright 2021. All rights reserved. Licence number 100020449.

Approximate positions only

PO1	SITE BOUNDARY REVISED	JAM	JAN 2021		
REV	DESCRIPTION	DE	DR	CH	DATE
-					
DESIGNED BY	DRAWN BY	CHECKED BY			
-	JAM	RBT			
SCALE @ A1 SIZE	DATE				
N.T.S	17/12/2020				

PROJECT TITLE  
**LITTLE COURT, WRATTING ROAD, HAVERHILL**

DRAWING TITLE  
**PROPOSED POINT-OF-CONNECTION TO ANGLIAN WATER NETWORK**

CLIENT  
**CARE (LITTLE COURT) LTD**



Peck House, 20 Eastcheap London, EC3M 1EB  
Tel: 020 7717 5870  
info@cannonce.co.uk

Cambridge House, Lanwades Business Park, Kentford, Newmarket, CB8 7PN  
Tel: 01638 655107  
www.cannonce.co.uk

DRAWING NUMBER	REV.
ZA921-PL-SK-402	PO1

M:\2921 Little Court, Wrattling Road, Haverhill\3 PLANS\DRAWINGS\CURRENT\DRG52921-PL-SK-402-PO1-WW AW POC PLAN